



BUILDING DEPARTMENT  
 VILLAGE OF GREENPORT  
 236 Third Street, Greenport, NY 11944

## HISTORIC PRESERVATION COMMISSION REVIEW

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PURSUANT TO THE PROVISIONS OF CHAPTER 48  
 HISTORIC PRESERVATION LAW OF THE VILLAGE OF GREENPORT

DATE OF APPLICATION: 4.12.22

LOCATION OF PROPERTY: 111 Main St. Greenport

SUFFOLK COUNTY TAX MAP NUMBER: 1001 - 5-4. 25, 38.1, 39

PROPERTY OWNER: PWIB CLAUDIO REAL ESTATE LLC

ADDRESS: 111 Main St. Greenport PHONE: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_

ARCHITECT/DESIGNER: Robert Brown Architects

ADDRESS: 205 Bay Ave Greenport PHONE: 631-477-9752

EMAIL ADDRESS: info@rbbrownarchitect.com

### Type of Proposed Work

COMMERCIAL     RESIDENTIAL

### Site Work

- FENCE AND GATES
- DRIVEWAY, WALK, PATIO, OTHER PAVEMENT MODIFY DECK RAMP - ALL MATERIAL TO MATCH EXISTING
- MAJOR EXCAVATION OR REGRADING, OR BERM
- SWIMMING POOL, TENNIS COURT
- OTHER STRUCTURAL LANDSCAPE ELEMENT
- SIGNAGE AND AWNINGS - SUBMIT SCALE DRAWINGS TO INDICATING TO FOLLOWING:
  - SIZE OF EACH SIGN REUSE EXISTING SIGNAGE
  - COLOR
  - FONT
  - LOCATIONS OF ALL SIGNAGE AND AWNINGS ON BUILDING
  - PROPOSED MATERIALS
- MODERN FEATURES
- SOLAR PANELS
- SKYLIGHTS
- OUTDOOR SHOWERS
- OTHER CANOPY

### Landscape Planting

- HEDGE ALONG STREET AND/OR PROPERTY BOUNDARY LINES
- PLANTINGS INTENDED TO SCREEN OTHER WORK DESCRIBED IN THIS APPLICATION

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## Buildings

- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REMOVAL
- ACCESSORY BUILDING

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## Building Alterations

- EXTERIOR WALL MATERIAL
- ROOF MATERIAL AND COLOR
- CHIMNEY MATERIAL
- FOUNDATION MATERIAL
- DOORWAYS (INCLUDING STORM/SCREEN DOORS)
- WINDOWS (INCLUDING STORM/SCREEN SASH) AND SHUTTERS
- PORCHES AND STEPS
- TRIM AND DECORATIVE DETAIL
- GUTTERS AND LEADERS
- PAINT AND STAIN
- EXTERIOR LIGHTING
- OTHER

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PROVIDE A GENERAL DESCRIPTION OF THE PROPOSED WORK (USE ADDITIONAL SHEETS IF NECESSARY, REFER TO THE ACCOMPANYING EXHIBITS).

*extension of existing canopy over 'Waterfront' dock*

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LIST ALL EXHIBITS SUBMITTED WITH THIS APPLICATION. ACTUAL SAMPLES OF MATERIALS AND/OR DESCRIPTIONS OF ACTUAL MATERIALS ARE REQUIRED. (REFER TO THE INSTRUCTIONS FOR THE REQUIRED SUBMISSIONS).

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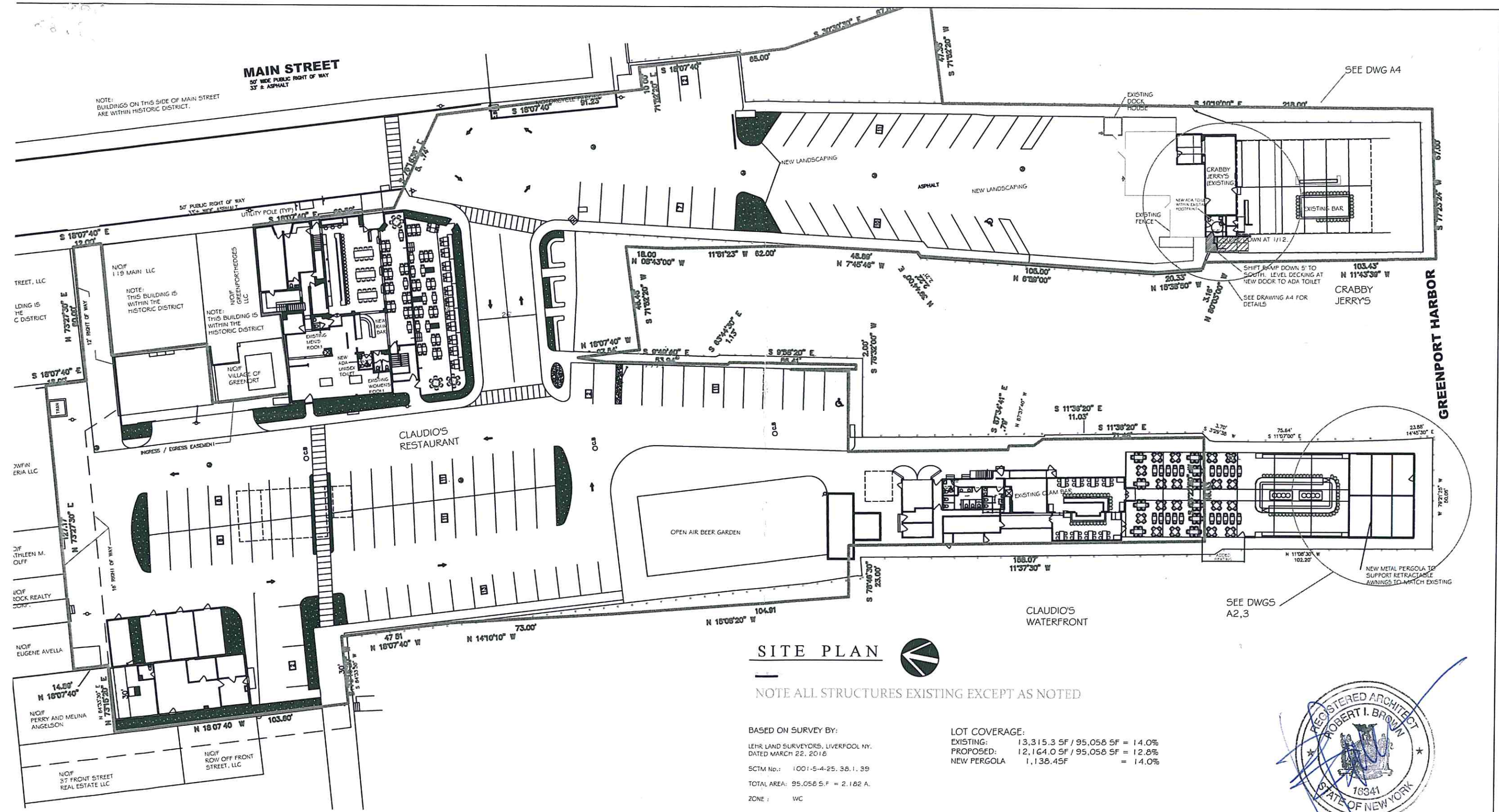
OTHER APPROVALS REQUIRED:

SIGNATURE OF OWNER OR AUTHORIZED AGENT:

DATE:



*[Signature]*  
4/12/22



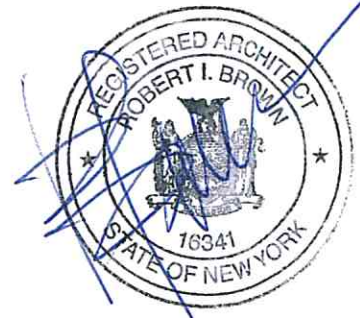
**SITE PLAN**



NOTE ALL STRUCTURES EXISTING EXCEPT AS NOTED

BASED ON SURVEY BY:  
 LEHR LAND SURVEYORS, LIVERPOOL NY.  
 DATED MARCH 22, 2016  
 SCTM No.: 1001-5-4-25, 38.1, 39  
 TOTAL AREA: 95,058 S.F. = 2.182 A.  
 ZONE: WC

LOT COVERAGE:  
 EXISTING: 13,315.3 SF / 95,058 SF = 14.0%  
 PROPOSED: 12,164.0 SF / 95,058 SF = 12.8%  
 NEW PERGOLA 1,138.45F = 14.0%



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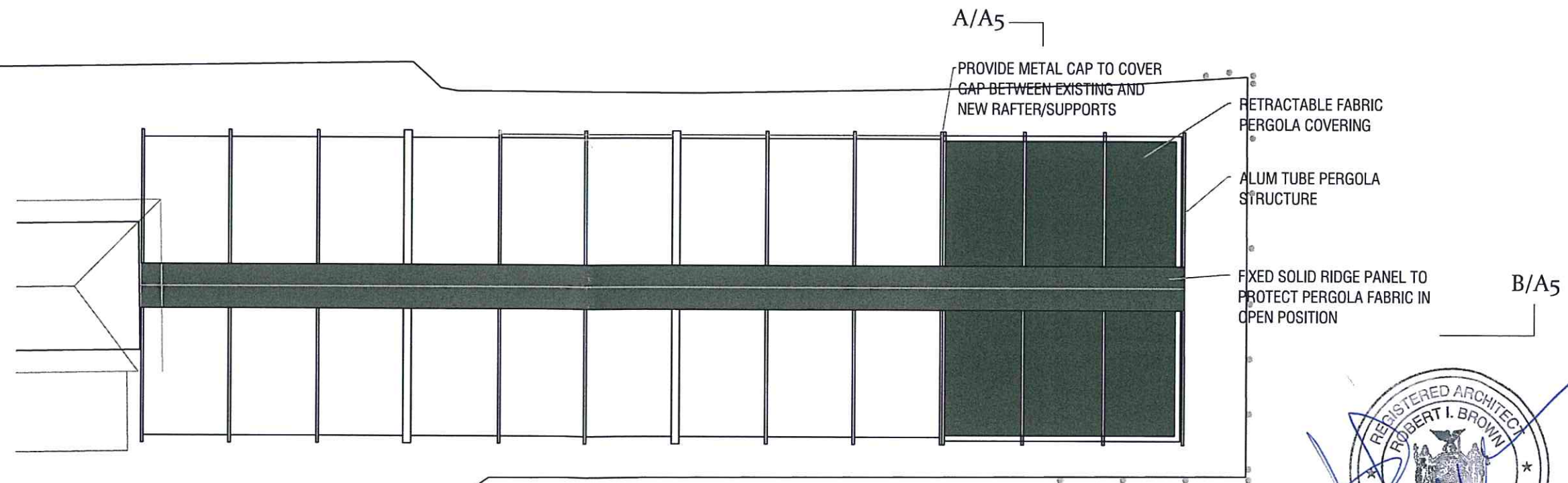
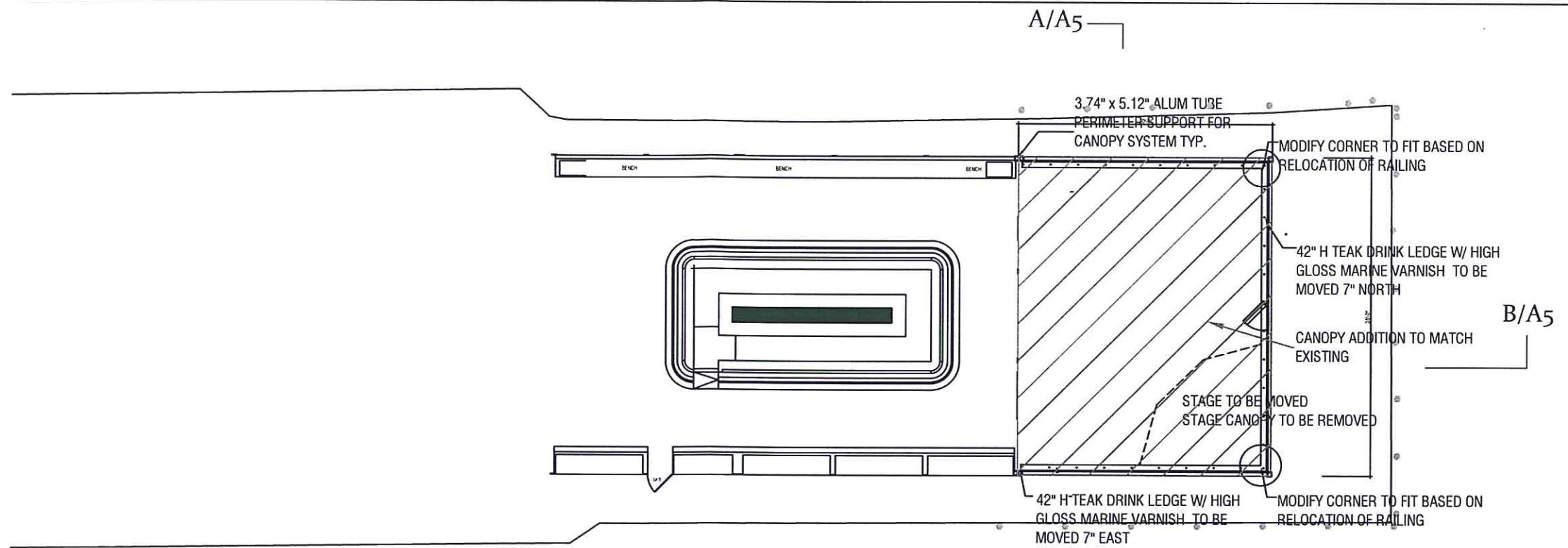
**PWIB CLAUDIO'S LLC**  
**RENOVATIONS**  
 111 MAIN STREET, GREENPORT NY  
 APRIL 13, 2022 SCALE: 1" = 40'

**WATERFRONT**  
**CANOPY ADDITION**  
**SITE PLAN**



ASTIC  
ING  
OR

RETRACTABLE FABRIC  
PERGOLA COVERING



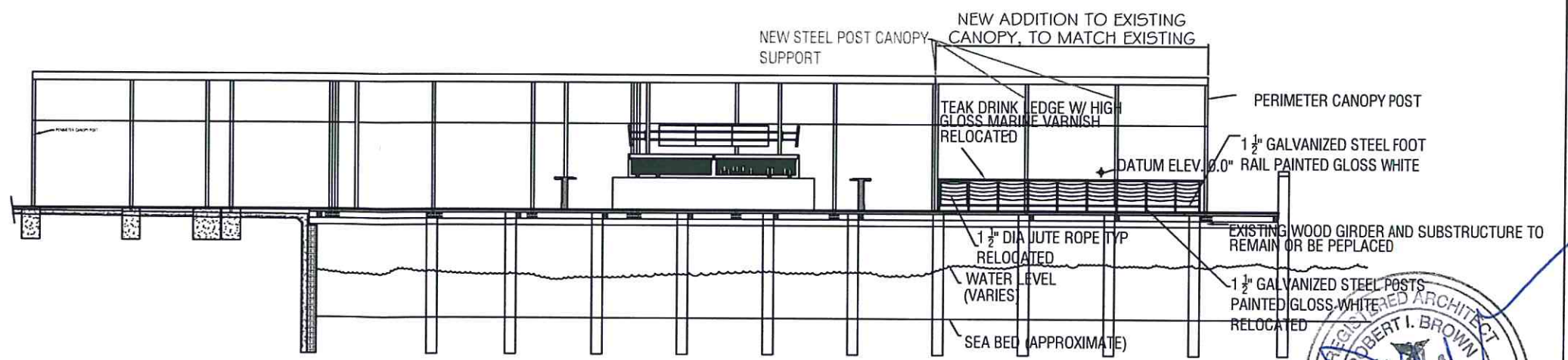
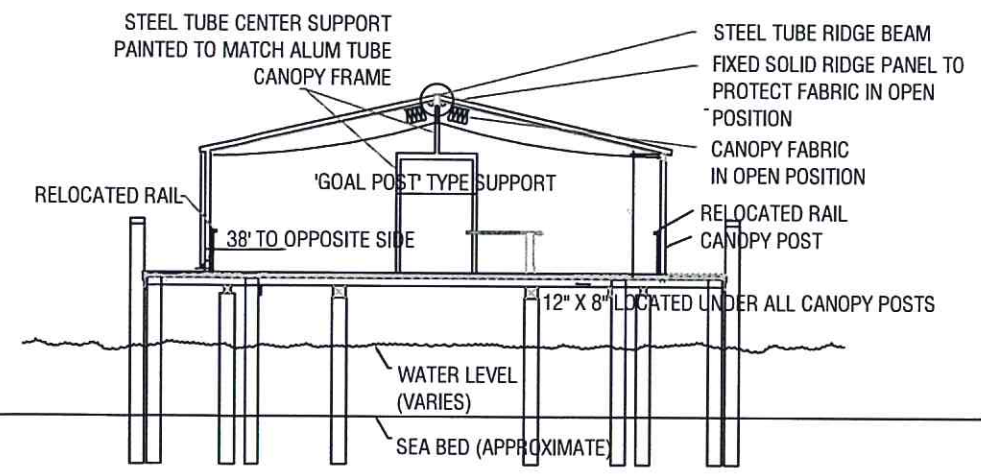
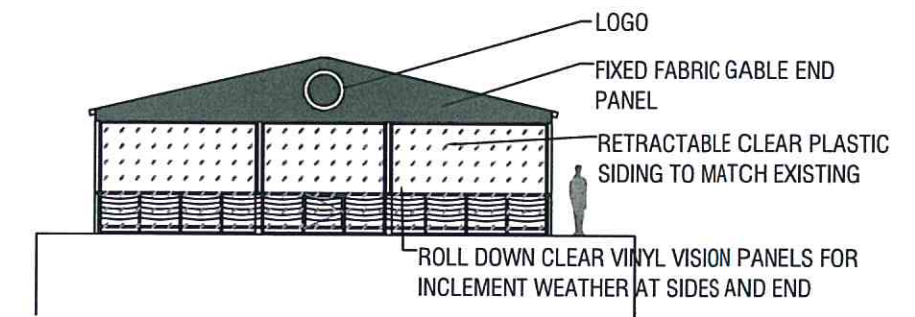
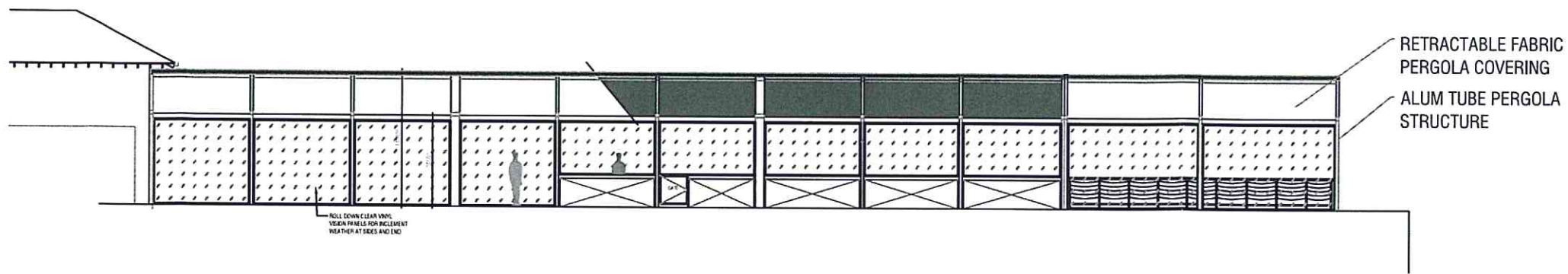
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**PWIB CLAUDIO'S LLC**  
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**WATERFRONT**  
**CANOPY ADDITION**  
**SITE PLAN**

**A2**



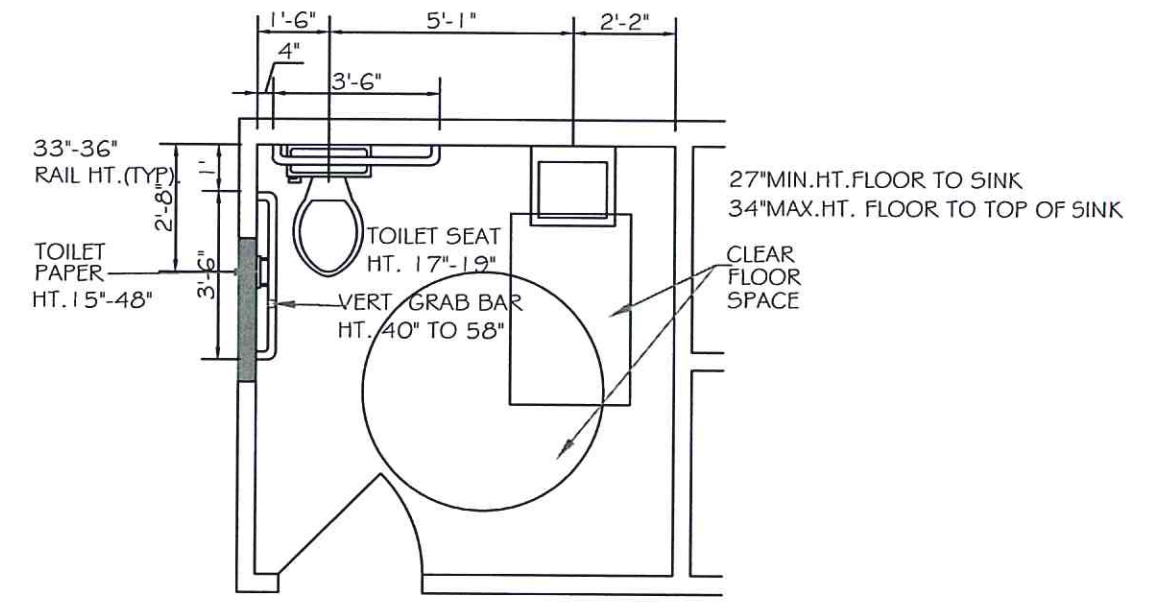
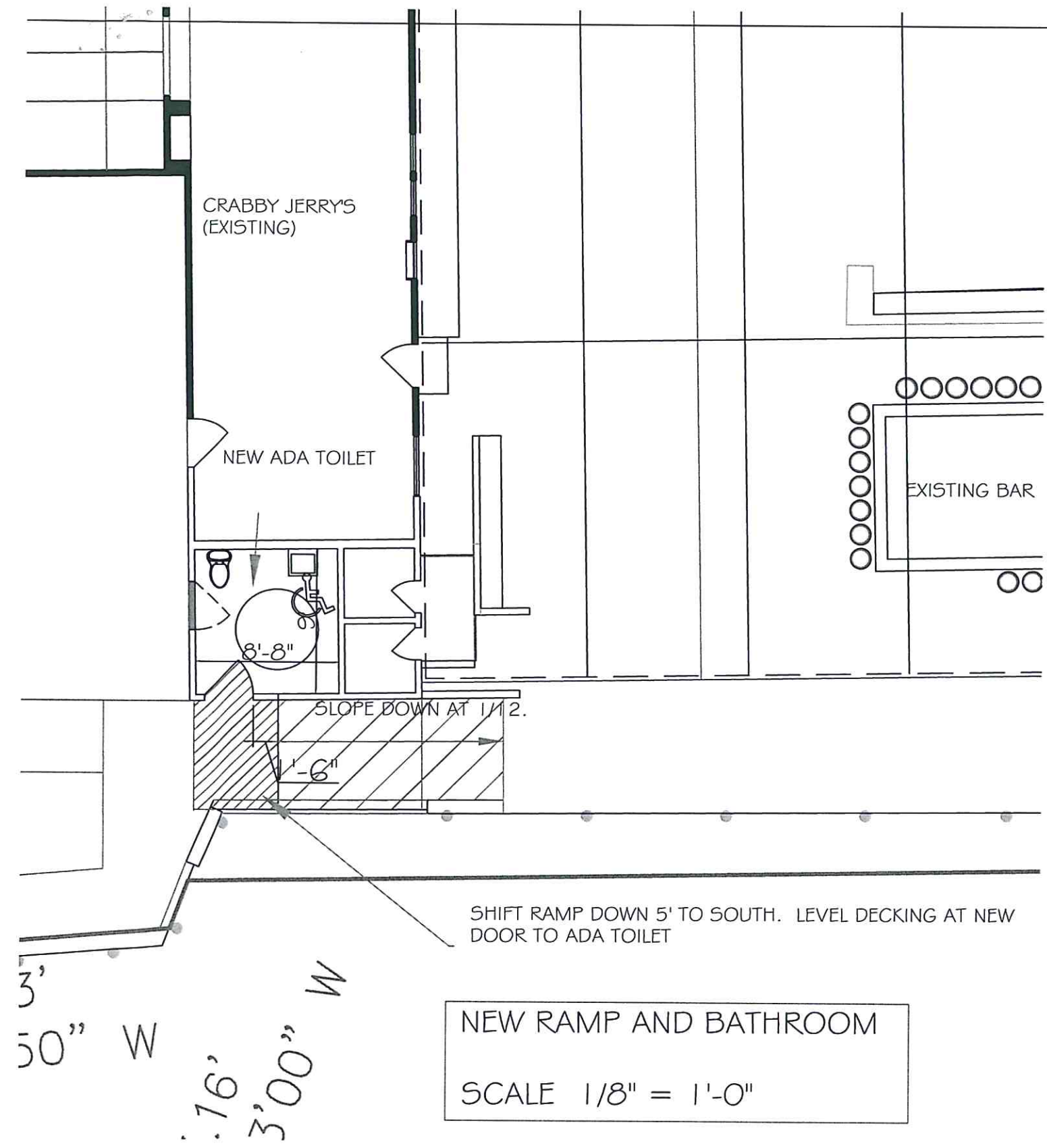
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**WATERFRONT**  
**CANOPY ADDITION**  
**SITE PLAN**

**A3**



NEW ADA BATHROOM

SCALE 1/4" = 1'-0"



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**PWIB CLAUDIO'S LLC**  
 RENOVATIONS  
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 APRIL 13, 2022 SCALE: NOTED

**WATERFRONT**  
**CANOPY ADDITION**  
**SITE PLAN**

**A4**