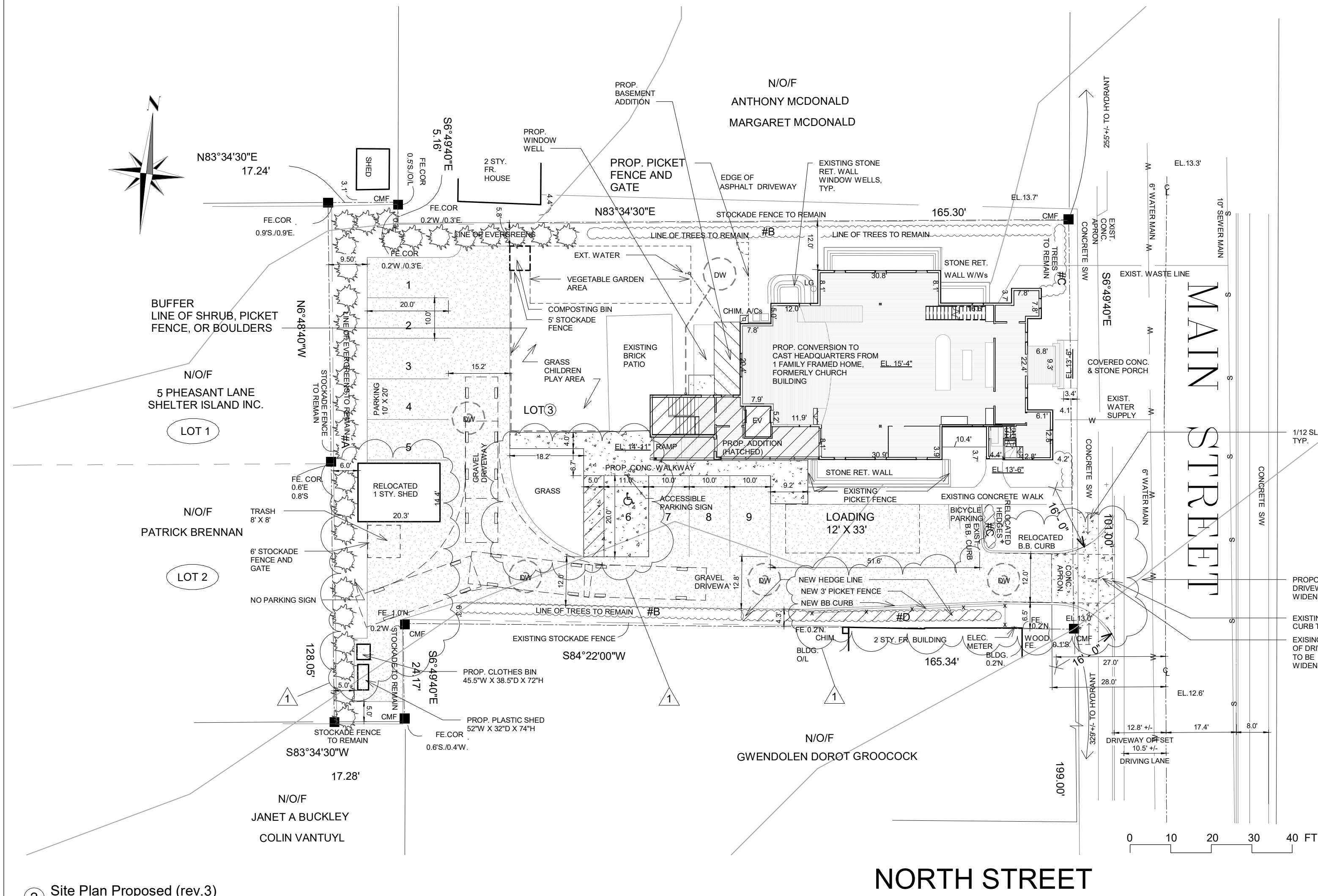


1 Site Plan Existing
1" = 20'-0"



2 Site Plan Proposed (rev. 3)
1" = 20'-0"

PROJECT
CONVERSION TO CAST HEADQUARTERS

SUMMARY OF WORK:

CONVERSION OF FORMER CHURCH RENOVATED AS A SINGLE-FAMILY HOME TO CAST HEADQUARTERS.

GROSS FLOOR AREAS:

BASEMENT:	EXISTING	2,049.02 SQ.FT.	2,614.45 SQ.FT.
	ADDITION	565.43 SQ.FT.	
	TOTAL		5,238.26 SQ.FT.
FIRST FLOOR:	EXISTING	2,829.70 SQ.FT.	3,381.08 SQ.FT.
	ADDITION	551.38 SQ.FT.	
	TOTAL		3,932.46 SQ.FT.
MEZZANINE:	EXISTING	359.54 SQ.FT.	
	ADDITION	49.50 SQ.FT. (STAIRWAY)	
	TOTAL		409.04 SQ.FT.
EXISTING TOTAL		5,238.26 SQ.FT.	
ADDITION TOTAL		1,166.31 SQ.FT.	
TOTAL			6,404.57 SQ.FT.

THE SUMMARY OF WORK SHALL INCLUDE BUT IS NOT LIMITED TO:

- WEST ENTRY ADDITION
 - NEW ELEVATOR, ACCESSIBLE STAIRCASE, ENTRY HALL, AND COVERED RAMP AND LANDING
 - BASEMENT ADDITION TO CONNECT NEW STAIRCASE AND EXISTING BASEMENT HALLWAY
- BASEMENT ALTERATION
 - CONVERSION OF EXISTING ROOMS TO OFFICE, PANTRY, FOOD PREP, SHARING, MEETING ROOM, AND DONATION DROP-OFF STORAGE USES.
 - CONVERSION OF EXISTING BATHROOMS TO MEN AND WOMEN ACCESSIBLE RESTROOMS.
- FIRST FLOOR ALTERATION
 - CONVERSION OF EXISTING MAIN HALL TO COMMUNITY ROOM (INCLUDING PANTRY, CLASSROOM, AND OFFICE ZONES), AND COUNSELING ROOM.
 - ADDITION OF NYSCB COMPLIANT STAIRWAY TO THE MEZZANINE
 - RECONFIGURATION OF EXISTING STAGE, ELIMINATING LARGE STEP AND PROVIDING NEW COMPLIANT STEPS AND A RAMP.
- MEZZANINE ALTERATION
 - CONVERSION OF EXISTING MEZZANINE BEDROOM TO A LOFT OFFICE
 - ADDITION OF STAIRWAY FROM FIRST FLOOR (SAME AS #3.2 ABOVE)
- HVAC SYSTEM UPGRADE FOR VENTILATION.
- ALL RELATED, PLUMBING AND ELECTRICAL WORK

BUILDING CODE NOTES:

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT.

- ALL WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE TOWN AND ARCHITECT/ENGINEER OF ANY PORTIONS OF THE WORK IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.
- ALL MATERIALS, ASSEMBLIES, FORMS METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THEY SHALL HAVE BEEN ACCEPTED TO THE VILLAGE OF GREENPORT BUILDING DEPARTMENT
 - THEY SHALL HAVE BEEN ACCEPTED FOR THE USE UNDER THE PRESCRIBED TEST METHODS BY THE REGULATING AGENCIES.
- MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - THEY SHALL CONFORM WITH EITHER THE APPLICABLE CODES OR
 - THEY SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E119, STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS AND ACCEPTED BY THE VILLAGE OF GREENPORT BUILDING DEPARTMENT (OR)
- THEY SHALL HAVE BEEN ACCEPTED PRIOR TO THE EFFECTIVE DATE OF THE CODE.
- ALL MASONRY UNITS SHALL CONFORM TO THE BUILDING CODE.
- THE CONTRACTOR SHALL OBTAIN EQUIPMENT USE PERMITS REQUIRED IN ACCORDANCE WITH THE BUILDING CODE.
- ALL NEW WORK SHALL COMPLY WITH ANSI 117.1 2003 AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- ALL NEW INTERIOR FINISHES SHALL COMPLY WITH NYSCB SECTION 803.
- ALL NEW THERMAL AND SOUND-INSULATING MATERIALS SHALL COMPLY WITH NYSCB SECTION 807.
- THE CONTRACTOR IS RESPONSIBLE FOR FILING APPLICATIONS AND OBTAINING PERMITS FOR SCAFFOLDING, ANY OTHER CONSTRUCTION EQUIPMENT OR PUBLIC PROTECTIVES REQUIRED TO ENSURE SAFETY OF OPERATION.

BUILDING CODE COMPLIANCE:

- Use(s) and Occupancy Classification(s): A3
- Height and Fire Area: 84'-0" +/-, 1.5 stories, as existing; Fire Area n/a
- Type of Construction: Type VB, 2x6 platform construction, as existing
- Structural Design criteria: Engineered (No structural changes will be made, except addition)
- Framing elements: To be included in Structural Drawings
- Design load calculations: To be included in Structural Drawings
- Glazing protection: Required (Wind Speed 130 mile zone; 0.3 mile (<1 mile) to coast line)
Provide Hurricane resistant rated windows and/or protection panels
- Load paths from roof to foundation: To be included in Structural Drawings
- Nailing and/or connection schedule, framing details: To be included in Structural Drawings
- Means of Egress: See G01.
- Plumbing riser diagrams: To be included in Plumbing Drawings
- Location of fire protection equipment, i.e. smoke alarm: To be included in Electrical Drawings
- Truss design drawings with certification: n/a
- Energy calculations from design professional: To be provided (Prescriptive)

STORMWATER RETENTION CALCULATIONS - ADDITION ROOF:
NEW ROOF 532 SQ.FT.
PART OF EXISTING ROOF LOADS TO NEW ROOF 412 SQ.FT.
TOTAL 944 SQ.FT. X 2 INCH/HR RAIN = 157.34 CUFT
USE 8" DIA. POOL WITH 42.24 CUFT/VF
157.34 CUFT / 42.24 CUFT/VF = 3.73 VF REQUIRED
USE (1)-8" DIA. 4" DEEP LEACHING POOL

STORMWATER RETENTION CALCULATIONS - PAVEMENT:
CONC. 785 SQ.FT. X 2 INCH/HR RAIN X 1 COEFF. = 130.84 CUFT
GRAVEL 6,093 X 2 = 12,186 CUFT
USE 8 FT DIA. POOL WITH 42.24 CUFT/VF
1146.34 CUFT / 42.24 CUFT/VF = 27.14 VF REQUIRED
USE (4)-8" DIA. 8" DEEP LEACHING POOLS

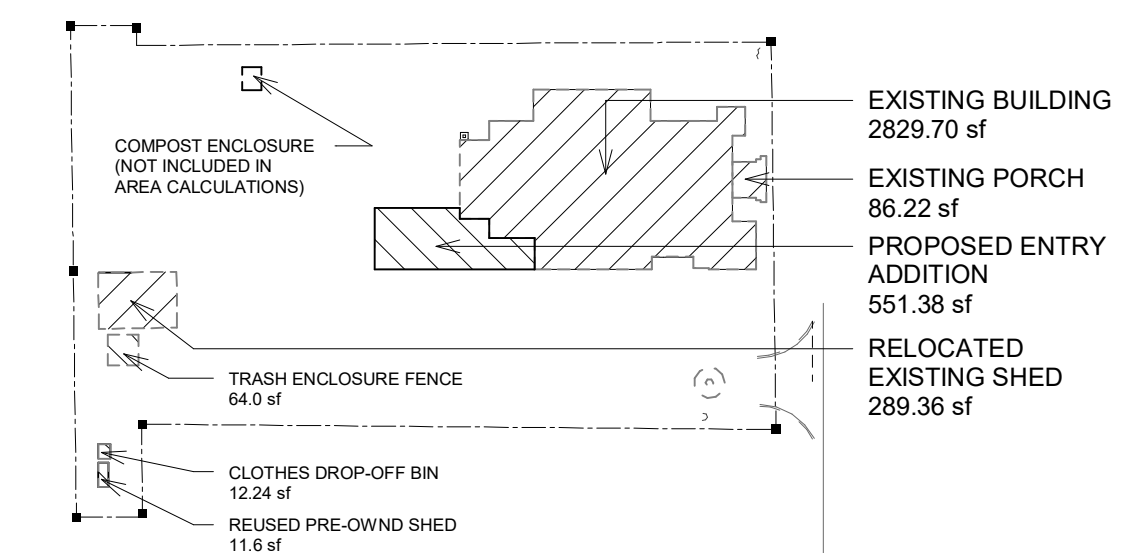
Tree Types	
#	Tree Type
A	Existing Spruce
B	Existing Hedge, Line of Forsythia
C	Existing Hedge, Line of Boxwood
D	Proposed Hedge, Flowering Raspberry

ZONING:

ZONE: R-2
Use: Conditional use: Philanthropic organizations subject to approval by the Planning Board
(\$150-BB, 7B(3) & (1))
Flood Zone X

Lot	1 Acre, or 43,560.15 SF	18,716 SF	for use	NC	\$150-7-B-3-(b)
Width	60 FT	101	as existing	OK	\$150-12
Depth	100 FT	182.5	as existing	OK	\$150-12
Setback, all	50 FT	4.1 as per survey	as existing	NC	\$150-7-B-1-(a)
Front Yard	30 FT	4.1 as per survey	as existing	NC	\$150-12
One side yard	10 FT	12	as existing	OK	\$150-12
Both sides	25 FT	52.9	as existing	OK	\$150-12
Rear	30 FT	78.7	as existing	OK	\$150-12
Parking	1 space for each 200 square feet of floor area				
Coverage	20%	20.54%			
	existing	2,915.92			
	addition	551.38			
	existing shed	289.36			
	new out structures	87.84			
	total:	3,844.50 (20.54%)			
Height	2 1/2	1 1/2 (Mezzanine)	as existing	NC	\$150-12
Loading	30 or 35	64 +/-	provided	OK	\$150-16 B.
Accessory buildings in Residential district:					\$150-13 A.
Location	in Rear Yard		as existing	OK	
Height	15' or less	12 +/-	as existing	OK	
Setback	5'	6'	same as existing	OK	

COVENANT: "Any residences located on the lots created by this subdivision shall be limited to use as single-family residences", can be terminated, revoked, or amended only by either the owner of the premises or by the owners of a majority of the lots on the subdivision map and only with the written consent of a majority plus one of the Planning Board of the Village of Greenport, after a public hearing held on ten (10) days' notice."



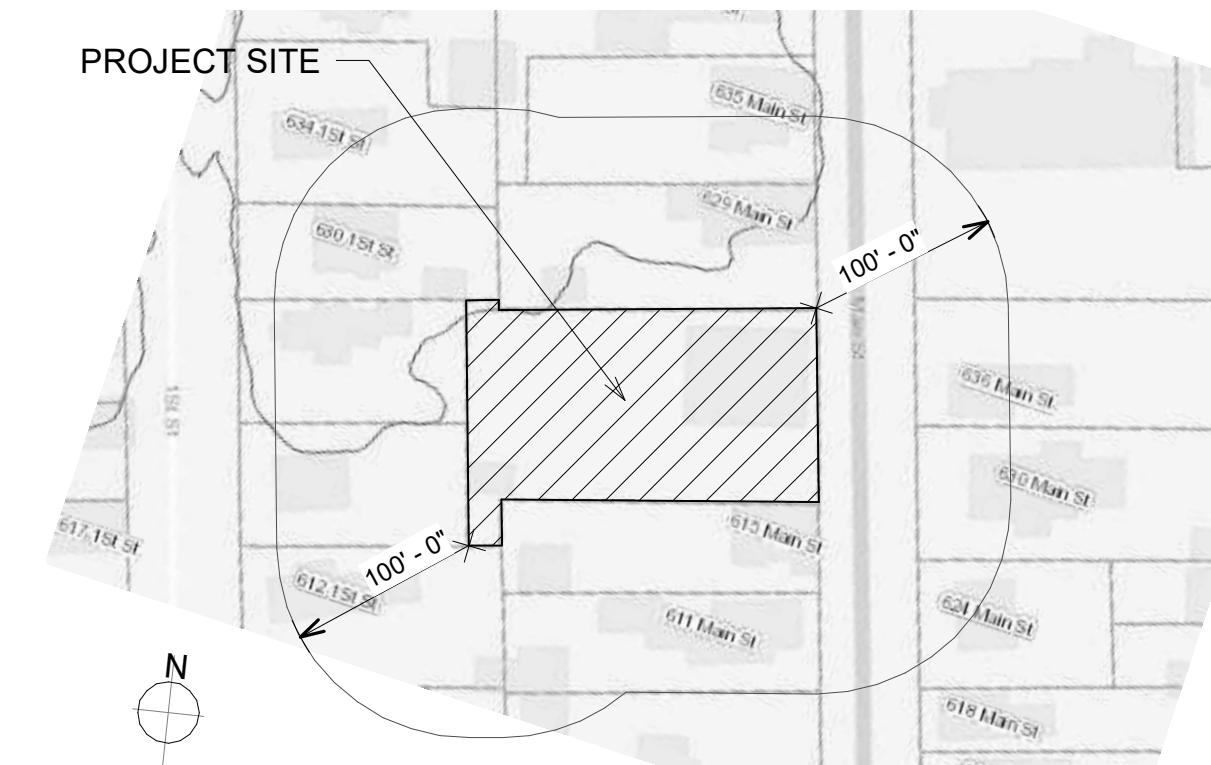
OTHER REGULATORY REQUIREMENTS:

Health Department:	Not Required (connect to Village)
DEC:	Not Required
HPC:	Required
Planning Board:	Required

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	H OR HT	HEIGHT
ALUM.	ALUMINUM	H.P.	HIGH POINT
AND	AND	HRWD	HARDWOOD
APPROX.	APPROXIMATELY	HVAC	HEATING VENTILATING AND AIR CONDITIONING
ARCH.	ARCHITECT		
@	HORIZONTAL	HORZ.	HORIZONTAL
AT		INSUL.	INSULATION
BLD'G	BUILDING	INT.	INTERIOR
B.O.	BOTTOM OF	L.F.	LINEAR FOOT
C.I.	CAST IRON	L.P.	LOW POINT
CL	CENTER LINE	MAT.	MATERIAL
CLG.	CEILING	MAX.	MAXIMUM
CLO.	CLOSET	MECH.	MECHANICAL
CNUJ	CONCRETE MASONRY UNIT	MIN.	MINIMUM
COL	COLUMN	MTD.	MOUNTED
CONC.	CONCRETE	MTL	METAL
CONT.	CONTINUOUS	N.I.C.	NOT IN CONTRACT
C.J.	CONTROL JOINT	NO.	NUMBER
COR.	CORRIDOR	NOM.	NOMINAL
CU.FT.	CUBIC FEET	NTS.	NOT TO SCALE
CU.YD.	CUBIC YARD	PLY	PLYWOOD
DET	DETAIL	O.C.	ON CENTER
DIA.	DIAMETER	R	RADIUS
DIM.	DIMENSION	RAIL'G	RAILING
DIM	DIMMER	REINF.	REINFORCING
DR.	DOOR	R.D.	ROOF DRAIN
DWG	DRAWING	REQD.	REQUIRED
E.J.	EXPANSION JOINT	RM	ROOM
ELEV.	ELEVATION	SF	SQUARE FEET
ELEC.	ELECTRIC	SIM.	SIMILAR
ENT.	ENTRY	SPEC.	SPECIFICATION
EQ.	EQUAL	S.S.	STAINLESS STEEL
EQUIP.	EQUIPMENT	STD.	STANDARD
ERV	ENERGY RECOVERY VENTILATOR	STL	STEEL
EV	ELEVATOR	TEL.	TELEPHONE
EXIST.	EXISTING	TH.	THICKNESS
EXT.	EXTERIOR	T.O.	TOP OF
FF	FINISHED FLOOR	TYP	TYPICAL
FN	FINISH OR FINISHED FLOOR	U.O.N.	UNLESS OTHERWISE NOTED
FL	FLOOR	V.I.F.	VERIFY IN FIELD
FLASH'G	FLASHING	W	WIDTH
F.P.	FIRE PROOFING	W/	WITH
FT	FEET	WD	WOOD
GA	GAUGE	W.R.B.	WATER RESISTIVE BARRIER
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR		
GL	GLASS		
GWB	GYPSUM WALL BOARD		

LOCATION MAP:



studio a/b architects

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Riverhead, NY 11901
631 591 2402
631 323 1426
glynis@studioabarchitects.com

mailing address:
PO Box 444, Orient, NY 11957

client:
Community Action Southold Town (CAST)

site address:
621 Main Street, Greenport, NY 11944

tax map #: 1001-02-06-49.4

current property Owner:
5 Pheasant Lane, Shelter Island Inc.

No.	Description	Date
1		5/30/2020

PROJECT
CAST Headquarters
Conversion

Site Plan

Project number	19026
Date	5/30/2020
Drawn by	HA
Checked by	GB

Scale As indicated

A-01

As indicated

6/2/2020 8:12:19 AM