



BUILDING DEPARTMENT
 VILLAGE OF GREENPORT
 236 Third Street, Greenport, NY 11944

HISTORIC PRESERVATION COMMISSION REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PURSUANT TO THE PROVISIONS OF CHAPTER 48
 HISTORIC PRESERVATION LAW OF THE VILLAGE OF GREENPORT

DATE OF APPLICATION: January 5, 2022

LOCATION OF PROPERTY: 817 Main Street, Greenport, NY 11944

SUFFOLK COUNTY TAX MAP NUMBER: 1001 Section 002.00 Block 01.00 Lot 025.000

PROPERTY OWNER: Peter Saitta

ADDRESS: [REDACTED]

PHONE: [REDACTED]

EMAIL ADDRESS: [REDACTED]

ARCHITECT/DESIGNER: John D. Houstoun

ADDRESS: 15 West 36th Street, PH, New York, NY 10018 PHONE: 212.533.4250 x15

EMAIL ADDRESS: dhoustoun@h-h-architects.com

Type of Proposed Work

COMMERCIAL RESIDENTIAL

Site Work

- FENCE AND GATES
- DRIVEWAY, WALK, PATIO, OTHER PAVEMENT
- MAJOR EXCAVATION OR REGRADING, OR BERM
- SWIMMING POOL, TENNIS COURT
- OTHER STRUCTURAL LANDSCAPE ELEMENT
- SIGNAGE AND AWNINGS - SUBMIT SCALE DRAWINGS TO INDICATING TO FOLLOWING:
 - SIZE OF EACH SIGN
 - COLOR
 - FONT
 - LOCATIONS OF ALL SIGNAGE AND AWNINGS ON BUILDING
 - PROPOSED MATERIALS
- MODERN FEATURES
 - SOLAR PANELS
 - SKYLIGHTS
 - OUTDOOR SHOWERS
 - OTHER

Landscape Planting

- HEDGE ALONG STREET AND/OR PROPERTY BOUNDARY LINES
- PLANTINGS INTENDED TO SCREEN OTHER WORK DESCRIBED IN THIS APPLICATION

Buildings

- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REMOVAL
- ACCESSORY BUILDING

Building Alterations

- EXTERIOR WALL MATERIAL
- ROOF MATERIAL AND COLOR
- CHIMNEY MATERIAL
- FOUNDATION MATERIAL
- DOORWAYS (INCLUDING STORM/SCREEN DOORS)
- WINDOWS (INCLUDING STORM/SCREEN SASH) AND SHUTTERS
- PORCHES AND STEPS
- TRIM AND DECORATIVE DETAIL
- GUTTERS AND LEADERS
- PAINT AND STAIN
- EXTERIOR LIGHTING
- OTHER

PROVIDE A GENERAL DESCRIPTION OF THE PROPOSED WORK (USE ADDITIONAL SHEETS IF NECESSARY, REFER TO THE ACCOMPANYING EXHIBITS).

Existing accessory structure (garage) to be converted to permitted accessory use (professional office). Proposed Architectural Work includes replacing solid garage doors with glass bi-folding sliding doors, new wood siding to match existing, and new entry door for professional office.

Proposed Landscaping Work includes new in-ground swimming pool with fence, new ramp, patio, and porch at entry door for professional office, new eyebrow pergola above bi-folding sliding doors, and repair of the existing pergola behind the existing accessory structure.

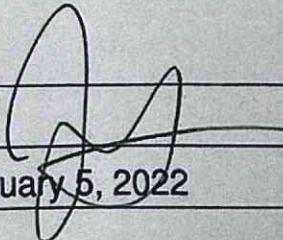
LIST ALL EXHIBITS SUBMITTED WITH THIS APPLICATION. ACTUAL SAMPLES OF MATERIALS AND/OR DESCRIPTIONS OF ACTUAL MATERIALS ARE REQUIRED. (REFER TO THE INSTRUCTIONS FOR THE REQUIRED SUBMISSIONS).

- Exhibit A - Proposed Architectural Package with photos and specifications
- Exhibit B - Proposed Landscaping Package with landscape design plan and images

OTHER APPROVALS REQUIRED:

SIGNATURE OF OWNER OR AUTHORIZED AGENT:

DATE:



January 5, 2022

Peter Saitta Real Estate Holdings, LLC

7901 4th Ave, Ste A20

Brooklyn, NY 11209

Ph: 718-491-5800

September 1, 2021

Re: Historic Preservation Commission Meeting

To Whom It May Concern:

I authorize Heitler Houstoun Architects to attend the Village of Greenport Historic Preservation Commission meeting and speak on behalf of Peter Saitta Real Estate Holdings LLC pertaining to the property located at 817 Main Street, Greenport, NY 11944.

Sincerely,

A handwritten signature in black ink, appearing to be the initials 'PS' or a stylized 'P' followed by 'S'.

Peter Saitta

Sole Member

Peter Saitta Real Estate Holdings, LLC



Village of Greenport Building Department

236 Third Street, Greenport, New York, 11944

(631) 477-0248 Ext. 212

www.villageofgreenport.org

ASBESTOS CERTIFICATION FORM

Notice to Building Applicants:

AN ASBESTOS SURVEY IS REQUIRED FOR ALL RENOVATION, REMODELING, REPAIR AND DEMOLITION OF ALL INTERIOR AND EXTERIOR BUILDING MATERIALS.

AS PER NEW YORK STATE INDUSTRIAL CODE RULE 56, ASBESTOS MATERIAL MUST BE ABATED BY LICENSED CONTRACTORS UTILIZING CERTIFIED ASBESTOS HANDLERS, WITH THE EXCEPTION OF OWNER-OCCUPIED SINGLE-FAMILY HOMES, WHERE THE OWNER MAY REMOVE THE ASBESTOS AND RENOVATE THESE STRUCTURES THEMSELVES. IT IS NOT RECOMMENDED THAT THE OWNER PERFORM ABATEMENT, AS THE OWNER COULD POTENTIALLY EXPOSE THEMSELVES, THEIR FAMILY AND NEIGHBORS TO ASBESTOS FIBERS IF ADEQUATE ENGINEERING CONTROLS AND WORK METHODS ARE NOT UTILIZED DURING THE ABATEMENT.

FOR FURTHER INFORMATION AND UPDATES, PLEASE SEE THE NEW YORK STATE WEBSITE AT: WWW.LABOR.STATE.NY.US OR CONTACT THE ASBESTOS CONTROL BUREAU DISTRICT OFFICE, NYS DEPARTMENT OF LABOR, ASBESTOS CONTROL BUREAU, 75 VARICK STREET, 7TH FLOOR, NEW YORK, NY 10013, TELEPHONE NUMBER 212-775-3538.

I hereby agree to abide by the conditions listed above. I understand that I am responsible to ensure these requirements are met, including all other applicable laws, rules and regulations pertaining to asbestos abatement.

Property Owner's Name: PETER SAITTA

Property Owner's Signature: 

Date: 9 / 16 / 2021



HISTORIC PRESERVATION COMMISSION
VILLAGE OF GREENPORT
236 Third Street, Greenport, NY 11944
631-477-0248, <https://villageofgreenport.org/>

CERTIFICATE OF APPROPRIATENESS (COA)

HISTORIC PRESERVATION COMMISSION APPROVAL

The Historic Preservation Commission hereby issues a Certificate of Appropriateness (COA) for the proposed work as it is in keeping with Chapter 76-6 and specifically the factors indicated on Appendix A (attached). The COA for the proposed work is issued in accordance with the attached plans and any approval conditions, if attached hereto.

Approved:

- As presented
 Subject to conditions below

Clavin A. Poley

Signature of Chair

9/17/21

Date

CONDITIONS OF APPROVAL

Project Specific Conditions:

1. The Potential commercial space was not approved.
2. The sign and swimming pool were not approved.
3. The Applicant will need to come before the Historic Preservation Commission to get approval for the above.

General Conditions:

1. The person signing this form is responsible for communicating the Terms and Conditions listed herein to all contractors for the project
2. Design, materials and construction methods shall be as shown on the COA, either in the conditions or on the attached plans.
3. The COA approval is limited to the scope of work documented in the plans.
4. No visible or concealed structural elements or historic features may be modified or removed unless identified in the COA approval.

Note: if unforeseen issues arise during construction, or if a change to the project is being considered, work should be suspended and an application for a review of the additional planned work must be submitted to the Historic Preservation Commission.

APPLICANT / AUTHORIZED AGENT SIGNATURE

I agree that all work shall be in accordance with the plans, specifications and conditions which accompany this application, and I have read and understand the Historic Preservation COA General and Project Specific Conditions.

Signature

[Signature]

9/27/21

Date

APPENDIX A
CERTIFICATE OF APPROPRIATENESS (COA)

The Historic Preservation Commission finds that the proposed work for the property at:

817 Main Street

_____ is in
keeping with Chapter 76-6 of the Village of Greenport Code, specifically:

Relevant
Findings
Checked
Below

1. The general design, character and appropriateness to the property of the proposed alteration or new construction.
2. The scale of proposed alteration or new construction in relation to the property itself, surrounding properties and the neighborhood.
3. Texture, materials and color and their relation to similar features of other properties in the neighborhood.
4. Visual compatibility with neighboring properties in public view, including the proportion of the property's front façade, proportion and arrangement of windows and other openings within the façade, roof shape and the rhythm of spacing of properties on streets including setback.
5. The importance of historic, architectural or other features to the significance of the property.
6. The United States Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Feb. 1978 rev.).
7. Other: _____
- _____

8/18/2021

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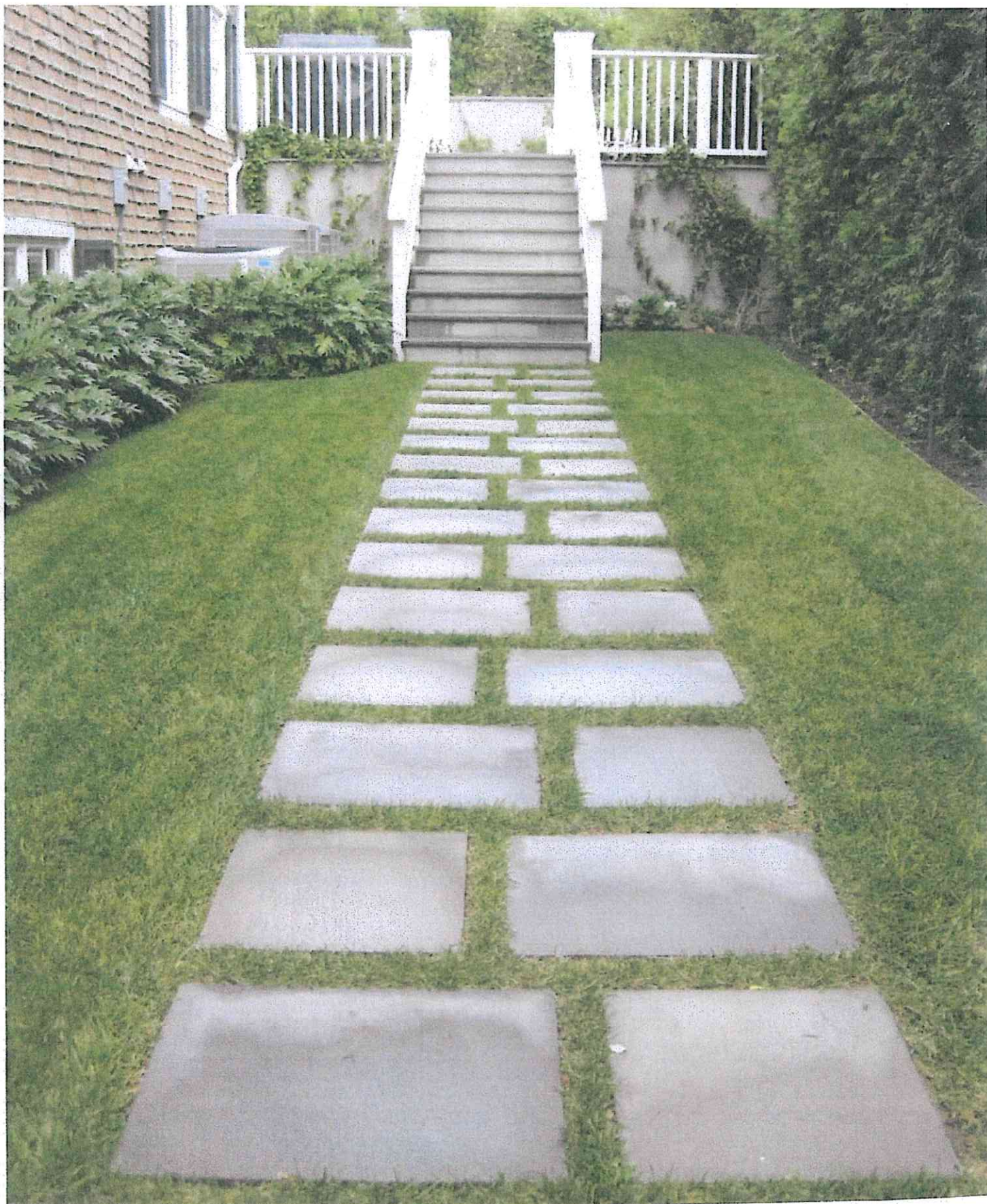








**BRICK FRONT
WALKWAYS
&
BACK ENTRY
WALKWAY**



**BLUESTONE PATHS & PATIO
IN GRASS**



**ROCKFACED
BLUESTONE
RETAINING WALLS
ON POOL WALLS**



**BACK PERGOLA
OVER BACK OFFICE
DOOR & BRICK
PATIO**



BACKYARD POOL FENCING ALONG PERIMETERS

SAITTA GREENPORT RESIDENCE - HPC APPLICATION

EXHIBIT A

SAITTA GREENPORT RESIDENCE HPC APPLICATION

817 MAIN STREET, GREENPORT, NY 11944

01/05/2022

HEITLER
HOUSTOUN
ARCHITECTS



807 MAIN STREET (ADJACENT PROPERTY, SOUTH SIDE)



823 MAIN STREET (ADJACENT PROPERTY, NORTH SIDE)



768 MAIN STREET (OPPOSITE PROPERTY)



802 MAIN STREET (OPPOSITE PROPERTY)

CONTEXT PHOTOS - SURROUNDING PROPERTIES

SAITTA GREENPORT RESIDENCE HPC APPLICATION

817 MAIN STREET, GREENPORT, NY 11944 | 01/05/2022



EXISTING



EXTERIOR ARCH. SCOPE

- 1. NEW GLASS BI-FOLDING SLIDING DOORS
- 2. NEW WOOD SIDING TO MATCH EXISTING
- 3. NEW STEPPING STONE AND SLOPED SURFACE BY LANDSCAPE DESIGN
- 4. NEW EYEBROW PERGOLA BY LANDSCAPE DESIGN
- 5. REPAIR OF EXISTING REAR PERGOLA
- 6. NEW OFFICE ENTRY DOOR
- 7. NEW REAR PATIO AND PORCH BY LANDSCAPE DESIGN

NOTE: PROPOSED WORK AT MAIN HOUSE PREVIOUSLY APPROVED BY HISTORIC PRESERVATION COMMISSION ON 9/17/21

PROPOSED



GLASS GARAGE-STYLE DOORS
SIZE: 6'-10"W X 7'-0"H (TO BE V.I.F.)
COLOR: WHITE
MATERIAL: WOOD / ALUMINUM
GLASS: CLEAR LOW-E



SIDING
WOOD SHIPLAP SIDING TO MATCH EXISTING

EXTERIOR - REAR OFFICE BI-FOLDING OUTSWING DOORS

EXISTING



PROPOSED



EXTERIOR ARCH. SCOPE

1. NEW GLASS BI-FOLDING SLIDING DOORS
2. NEW WOOD SIDING TO MATCH EXISTING
3. NEW STEPPING STONE AND SLOPED SURFACE BY LANDSCAPE DESIGN
4. NEW EYEBROW PERGOLA BY LANDSCAPE DESIGN
5. REPAIR OF EXISTING REAR PERGOLA
6. NEW OFFICE ENTRY DOOR
7. NEW REAR PATIO AND PORCH BY LANDSCAPE DESIGN

NOTE: PROPOSED WORK AT MAIN HOUSE PREVIOUSLY APPROVED BY HISTORIC PRESERVATION COMMISSION ON 9/17/21



EXTERIOR SIDE

Colony White

INTERIOR SIDE

White

ANTIQUE BRASS



SIDING
WOOD SHIPLAP SIDING TO MATCH EXISTING

NEW OFFICE ENTRY DOOR

ANDERSEN STRAIGHTLINE #179 DOOR STYLE
 PRODUCT ID #: 100REC7050
 SIZE: 83-1/2"W X 59-1/2"H (TO BE V.I.F.)
 EXTERIOR COLOR: COLONY WHITE
 INTERIOR COLOR: WHITE
 MATERIAL: MAPLE WOOD
 GLASS: LOW-E4
 HARDWARE: WHITMORE ANTIQUE BRASS

EXTERIOR - REAR OFFICE ENTRY