

SITE PLAN LEGEND

- EXISTING BUILDING FOOTPRINT
- - - FENCE
- - - PROPERTY LINE
- - - SETBACK LINE
- - - ACCESSORY STRUCTURE SETBACK LINE
- AREA OF VEGETATIVE SCREENING

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SAITTA GREENPORT
 817 MAIN STREET
 GREENPORT, NY 11944

Issue No.	Rev. No.	Date	Issued For
1		09/08/21	HPC
2		10/13/21	PLANNING BOARD
3		10/27/21	PROGRESS SET
4		11/01/21	PERMIT
5		12/15/21	ZONING COMMENTS
6		01/11/22	PERMIT
7		02/07/22	PERMIT
8		03/16/22	PLANNING BOARD

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DOB STAMP / SIGNATURES

DOB ESCAN

SITE PLAN

Project No. 210421-STGP
A.050

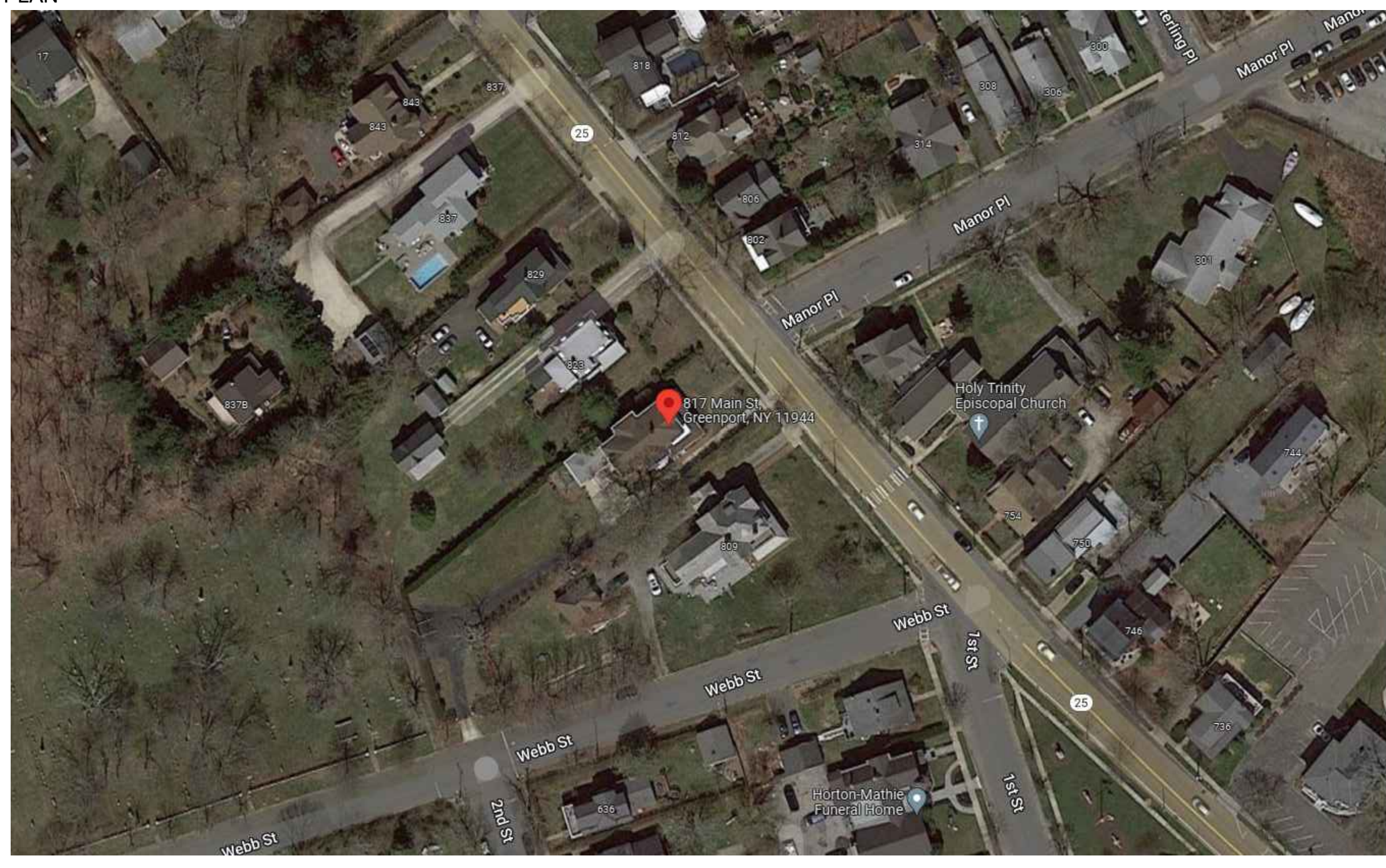
1

SITE PLAN

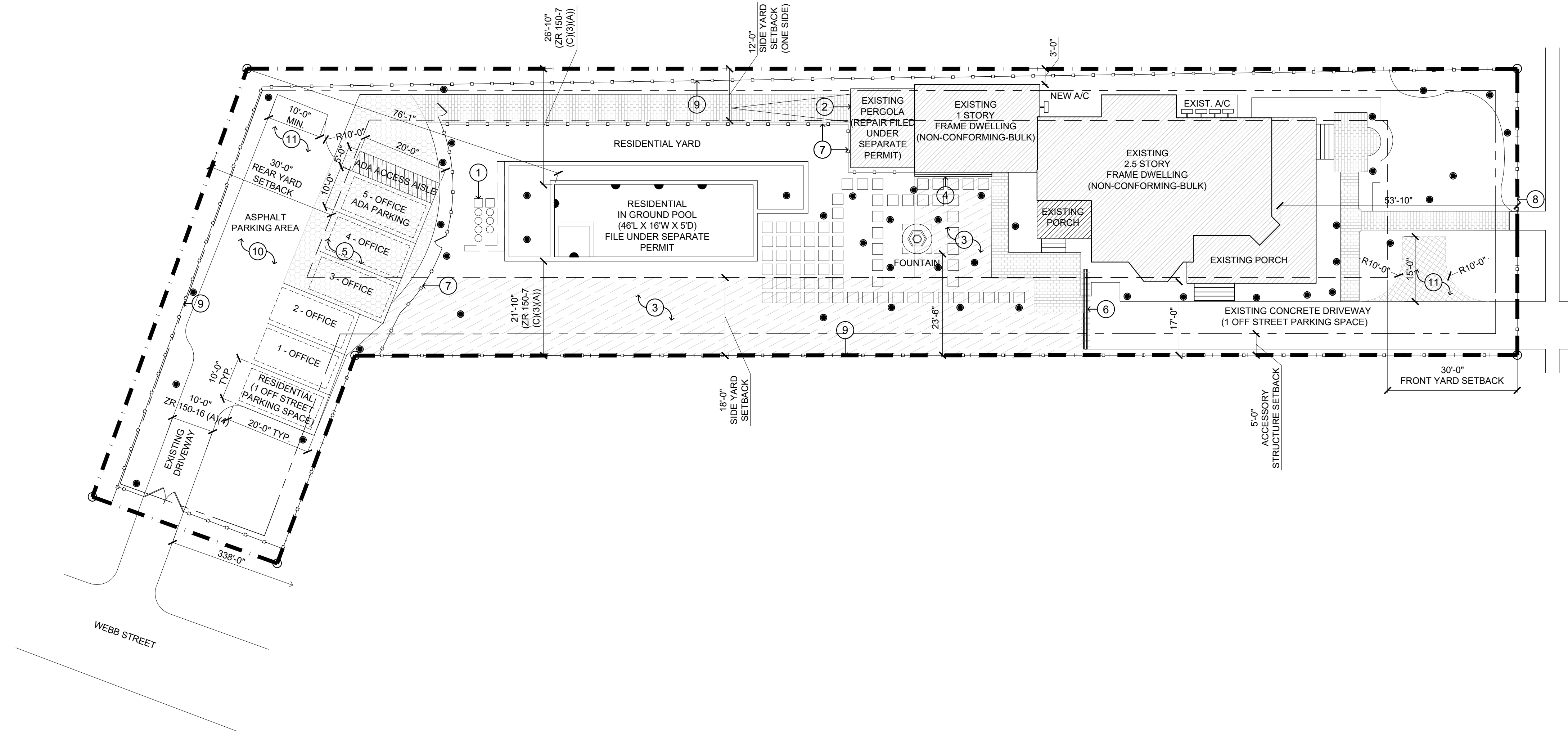
1/32" = 1'-0"

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EXISTING MAIN STREET AERIAL VIEW-A



N.T.S.



SITE PLAN KEYNOTES

- 1 POOL EQUIPMENT.
- 2 BRICK PATIO AND PORCH UNDER EXISTING PERGOLA
- 3 REMOVE PORTIONS OF EXISTING ASPHALT AND CONCRETE DRIVE.
- 4 BRICK STEP
- 5 DUSTLESS PERMEABLE PAVERS, ADA COMPLIANT.
- 6 WOOD PERGOLA ON BRICK WALL. SEE DRAWING 1/A.053. (ZR 150-13 (D)(1)).
- 7 PROVIDE 54" TALL BLACK METAL POOL FENCE WITH 54" TALL OUT-SWINGING GATE WITH AUTOMATIC CLOSER / SELF CLOSING, SELF CATCHING PER NYSRC SECTION 328.4.2.7.
- 8 PROVIDE 4'-0" TALL WOOD COMPOSITE FENCE IN FRONT YARD.
- 9 PROVIDE 6'-6" TALL WOOD COMPOSITE FENCE IN REAR AND SIDE YARD.
- 10 DUSTLESS ASPHALT SURFACE (ZR 150-16 (A)(5)).
- 11 VEHICULAR TURNAROUND AREA

SITE PLAN LEGEND

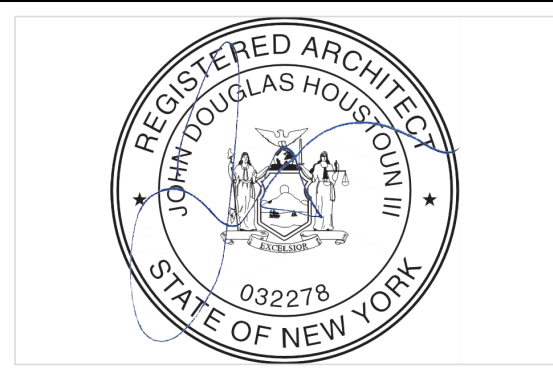
- EXISTING BUILDING FOOTPRINT
- - - FENCE
- - - PROPERTY LINE
- - - SETBACK LINE
- - - ACCESSORY STRUCTURE SETBACK LINE
- ▨ BRICK WALKWAY
- ▨ ECO-STONE PERMEABLE PAVERS, ADA COMPLIANT
- ▨ TURFSTONE PERMEABLE GRASS PAVERS
- □ □ □ BLUESTONE PAVERS
- POOL LIGHTING
- LANDSCAPE LIGHTING

ZONING REQUIREMENTS

BUILDING SUMMARY:

ADDRESS: 817 MAIN STREET, GREENPORT, NY 11944
 ZONING: R1 - ONE FAMILY RESIDENCE DISTRICT

R-1 RESIDENTIAL ZONE / WITHIN HISTORIC NEIGHBORHOOD OVERLAY				
	REQUIRED / PERMITTED	EXISTING	PROPOSED	
MIN. REQUIRED SETBACKS				
FRONT YARD	30'	53'-10"	53'-10"	
SIDE YARD NORTH	12' - 30'	3'-0"	3'-0"	
SIDE YARD SOUTH	12' - 30'	17'-0"	17'-0"	
REAR YARD	30'	72'-3"	72'-3"	
MAX LOT COVERAGE	30%	14%	18%	
MAX BUILDING HEIGHT	35'-0"	28'-5"	28'-5"	
MIN PROPERTY LINES SETBACK	5'-0"	3'-0"	3'-0"	
RESIDENTIAL OFF-STREET PARKING	2 SPACES	2 SPACES	2 SPACES	
ACCESSORY OR CONDITIONAL USE PARKING SPACES	5 SPACES (PHYSICIAN OFFICE)	3 SPACES (FORMER BED AND BREAKFAST)	5 SPACES (PHYSICIAN OFFICE)	



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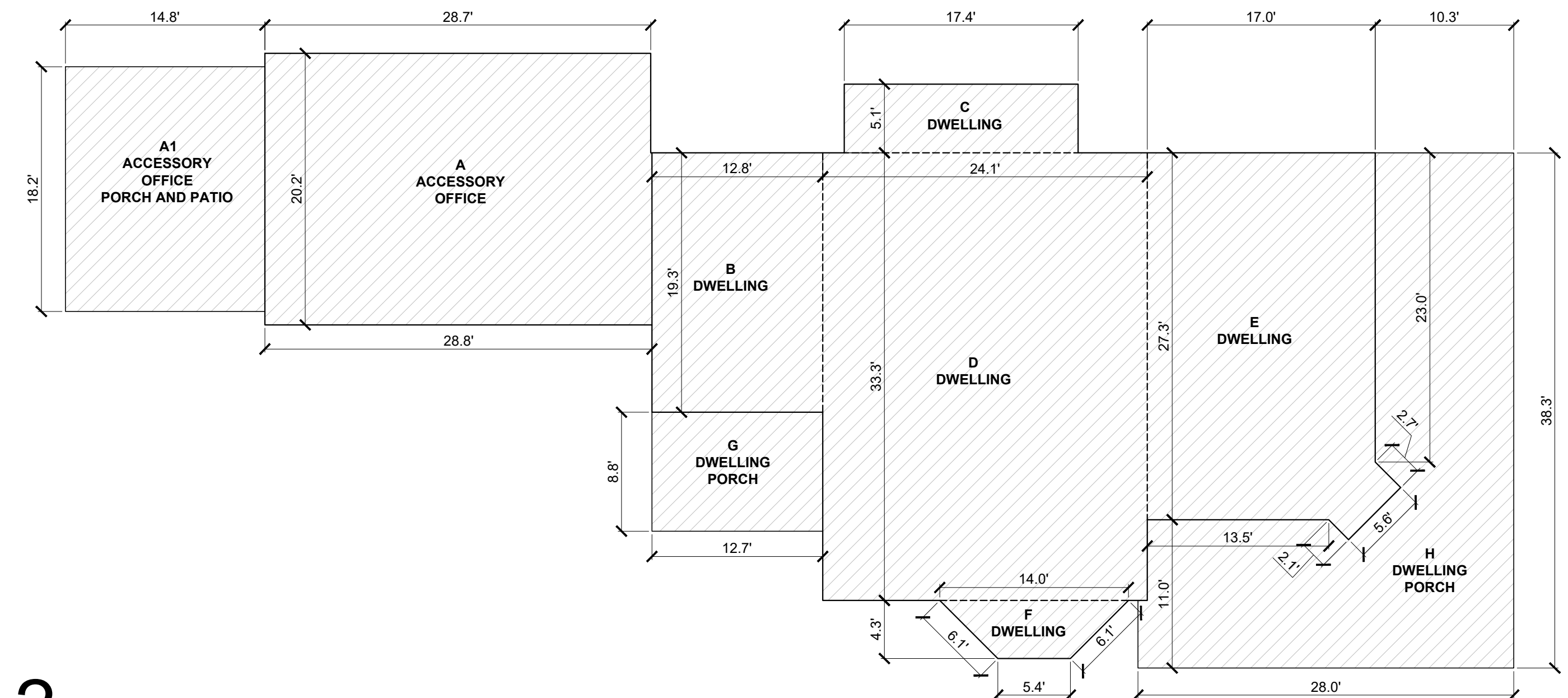
SITE PLAN

GROUND FLOOR AREA CALCULATIONS (ZR §150-7.C.(2)(b))

BUILDING AREAS	DIMENSIONS	AREA SF	COMPLIES
ACCESSORY OFFICE AREA "A"	28.7' x 20.2' x 28.8'	581	
ACCESSORY OFFICE AREA "A1" (PORCH AND PATIO)	14.8' x 18.2'	270	
DWELLING AREA "B"	12.8' x 19.3'	241	
DWELLING AREA "C"	17.4' x 5.1'	89	
DWELLING AREA "D"	24.1' x 33.3'	804	
DWELLING AREA "E"	17.0' x 23.0' x 2.7' x 5.6' x 2.1' x 13.6' x 27.3'	467	
DWELLING AREA "F"	14.0' x 6.1' x 5.4' x 6.1'	42	
DWELLING AREA "G" (PORCH)	12.7' x 8.8'	112	
DWELLING AREA "H" (PORCH)	11.0' x 13.5' x 2.1' x 5.6' x 2.7' x 23.0' x 10.3' x 38.3' x 28.0'	580	
TOTAL GROUND FLOOR BUILDING AREA		3,186	
ACCESSORY OFFICE AREAS "A" + "A1"		851	

PER VILLAGE OF GREENPORT CODE §150-7.C.(2)(b), ACCESSORY OFFICE SHALL OCCUPY NOT MORE THAN 30% OF THE AREA OF THE GROUND FLOOR OF THE MAIN BUILDING

% OF GROUND FLOOR BUILDING AREA OCCUPIED BY ACCESSORY OFFICE	851 SF / 3,186 SF = 26.71%
ACCESSORY OFFICE AREA < 30% OF TOTAL GROUND FLOOR BUILDING AREA	26.71% < 30%
	YES



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GROUND FLOOR AREA CALCULATION & AREA PLAN

SCALE: N.T.S.

1/16" = 1'-0"

	EXISTING (SF)	PROPOSED (SF)	IMPERVIOUS AREA ADDED (SF)	IMPERVIOUS AREA REDUCED (SF)
RESIDENTIAL BRICK PATHWAYS	607	718	111	-
OFFICE BRICK RAMP	0	619	619	-
CONCRETE DRIVEWAY	2,127	996	-	1,131
PERGOLA PATIO	270	270	0	0
IN GROUND POOL	0	856	856	-
ASPHALT DRIVE & PARKING	3,166	2040	-	1,126
BLUESTONE PAVERS	0	462	462	-
POOL EQUIPMENT	0	22	22	-
FOUNTAIN	0	37	37	-
TOTALS			2107	2257

TOTAL IMPERVIOUS AREA REDUCTION = 2257 SF - 2107 SF = 150

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IMPERVIOUS SURFACE CHART

SCALE: N.T.S.

STRUCTURES	EXISTING SF	PROPOSED SF	COMPLIES
BUILDING (DWELLING, OFFICE & PORCHES)	3,186		
POOL		808	
FOUNTAIN		37	
BRICK WALL		8	
A/C UNITS	147	2.4	
TOTAL	3,333	855	
TOTAL EXISTING AND PROPOSED STRUCTURE AREA		4,188	

TOTAL LOT AREA	21,850
LOT COVERAGE (STRUCTURE AREA / TOTAL LOT AREA)	19%
PER VILLAGE OF GREENPORT CODE 150-12(A), MAX LOT COVERAGE ALLOWED IS 30%	19% < 30%
	YES

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LOT AREA COVERAGE CALCULATIONS

SHEET NOTES

1. SEE DRAWING A.010 FOR SYMBOL LEGEND AND G SERIES DRAWINGS FOR GENERAL NOTES AND SITE NOTES.
2. DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
3. VERIFY ALL EXISTING DIMENSIONS IN FIELD AND REPORT ANY DIMENSIONAL DISCREPANCIES TO ARCHITECT (PRIOR TO STARTING WORK).
4. PROVIDE PROTECTION FOR ALL AREAS AFFECTED BY DEMOLITION. G.C. TO BE RESPONSIBLE FOR ALL DAMAGES CAUSED BY IMPROPER PROTECTION AND MAKE ALL NECESSARY REPAIR OR REPLACEMENT WITHOUT ADDITIONAL COST TO THE OWNER.
5. EXISTING TREES SHALL BE PROTECTED.
6. APPLICANT WISHES TO RESCIND PREVIOUSLY APPROVED BED & BREAKFAST CONDITIONAL USE.
7. PROFESSIONAL PRACTICE SHALL BE CARRIED ON BY THE RESIDENT OF THE DWELLING WITH NO MORE THAN TWO NONRESIDENT ASSISTANTS. (ZR 150-7 (C)(2)(a))

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ENLARGED SITE PLAN

Project No. 210421-SIGP
A.051