



BUILDING DEPARTMENT  
 VILLAGE OF GREENPORT  
 236 Third Street, Greenport, NY 11944

## HISTORIC PRESERVATION COMMISSION REVIEW

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PURSUANT TO THE PROVISIONS OF CHAPTER 48  
 HISTORIC PRESERVATION LAW OF THE VILLAGE OF GREENPORT

DATE OF APPLICATION: September 3, 2021  
 LOCATION OF PROPERTY: 512 Carpenter Street, Greenport Ny 11944  
 SUFFOLK COUNTY TAX MAP NUMBER: 1001-3-5-41  
 PROPERTY OWNER: Rebecca Miller & Stephen Morrow  
 ADDRESS: [REDACTED] PHONE: [REDACTED]  
 EMAIL ADDRESS: [REDACTED]  
 ARCHITECT/DESIGNER: Esra Ozcan  
 ADDRESS: Sag Harbor PHONE: 631-833-4416  
 EMAIL ADDRESS: esra@ozcanarch.com

### Type of Proposed Work

COMMERCIAL  RESIDENTIAL

### Site Work

- FENCE AND GATES
- DRIVEWAY, WALK, PATIO, OTHER PAVEMENT
- MAJOR EXCAVATION OR REGRADING, OR BERM
- SWIMMING POOL, TENNIS COURT
- OTHER STRUCTURAL LANDSCAPE ELEMENT
- SIGNAGE AND AWNINGS - SUBMIT SCALE DRAWINGS TO INDICATING TO FOLLOWING:
  - SIZE OF EACH SIGN
  - COLOR
  - FONT
  - LOCATIONS OF ALL SIGNAGE AND AWNINGS ON BUILDING
  - PROPOSED MATERIALS
- MODERN FEATURES
  - SOLAR PANELS
  - SKYLIGHTS
  - OUTDOOR SHOWERS
  - OTHER

### Landscape Planting

- HEDGE ALONG STREET AND/OR PROPERTY BOUNDARY LINES
- PLANTINGS INTENDED TO SCREEN OTHER WORK DESCRIBED IN THIS APPLICATION

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## Buildings

- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REMOVAL
- ACCESSORY BUILDING

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## Building Alterations

- EXTERIOR WALL MATERIAL
- ROOF MATERIAL AND COLOR
- CHIMNEY MATERIAL
- FOUNDATION MATERIAL
- DOORWAYS (INCLUDING STORM/SCREEN DOORS)
- WINDOWS (INCLUDING STORM/SCREEN SASH) AND SHUTTERS
- PORCHES AND STEPS
- TRIM AND DECORATIVE DETAIL
- GUTTERS AND LEADERS
- PAINT AND STAIN
- EXTERIOR LIGHTING
- OTHER

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PROVIDE A GENERAL DESCRIPTION OF THE PROPOSED WORK (USE ADDITIONAL SHEETS IF NECESSARY, REFER TO THE ACCOMPANYING EXHIBITS).

Replacing garden shed.

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LIST ALL EXHIBITS SUBMITTED WITH THIS APPLICATION. ACTUAL SAMPLES OF MATERIALS AND/OR DESCRIPTIONS OF ACTUAL MATERIALS ARE REQUIRED. (REFER TO THE INSTRUCTIONS FOR THE REQUIRED SUBMISSIONS).

See: Visual Notes for Historic Preservation Commission Review, attached  
Paint & trim will match house (~~the~~ blue w/ white trim).

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OTHER APPROVALS REQUIRED: \_\_\_\_\_

SIGNATURE OF OWNER OR AUTHORIZED AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Shed project: Rebecca Miller and Stephen Morrow  
512 Carpenter Street, Greenport, NY

**Visual notes for Historic Preservation Commission Review**

Current shed view:



Current shed from street:



Color image of proposed shed:



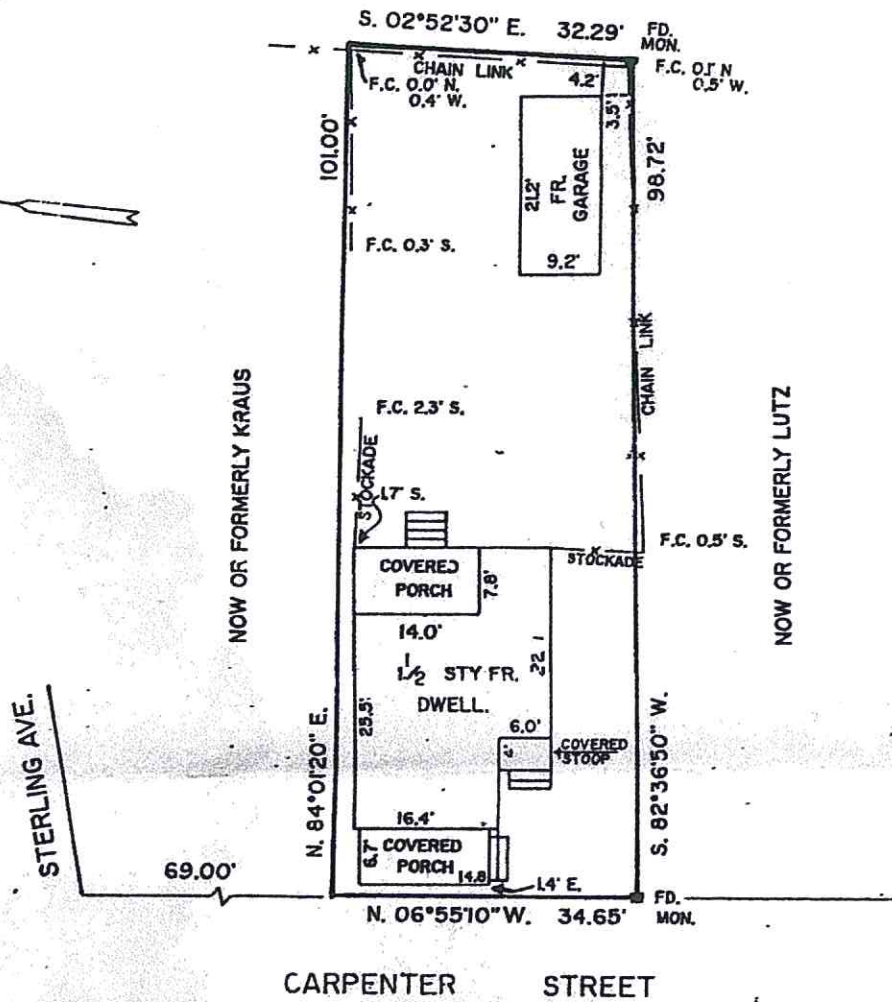
Color image of proposed shed from street angle:



Color 3-D rendering of proposed shed:

<https://cloud.vectorworks.net/links/11eba3a7fb767bf28fce0e8109945acd/?viewer=webview>

NOW OR FORMERLY MONTGOMERY



CARPENTER STREET

The existence of right of ways and or easements of record, if any, not shown are not guaranteed

THE OFFSETS (OR DIMENSIONS) SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE LOCATION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING BEDS, ADDITION TO BUILDINGS OR ANY OTHER CONSTRUCTION.

AUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

GUARANTEES INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR SIGNATURE SHALL BE VOID.

JOB NO. 00-80 FILE NO. 743F  
SURVEYED FOR DIANE C. FORDE & HENRY E. RUTHINOSKI JR.

SITUATED AT THE INCORPORATED VILLAGE OF GREENPORT  
TOWN OF SOUTHOLD - SUFFOLK COUNTY N.Y.

SCALE 1" = 20' DATE 3-6-2000

FILED MAP NO. DATE

TAX MAP NO 1001-3-5-4J (REF. ONLY) DISK 213

GUARANTEED ONLY TO  
DIANE C. FORDE  
HENRY E. RUTHINOSKI JR.  
SUFFOLK COUNTY-NATIONAL BANK  
COMMONWEALTH LAND TITLE INSURANCE CO.



HAROLD F. TRANCHON JR. P.C.  
LAND SURVEYOR

1866 WADING RIVER-MANOR RD WADING RIVER,  
NEW YORK, 11792  
516-929-4695

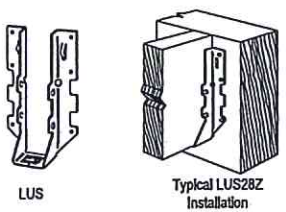
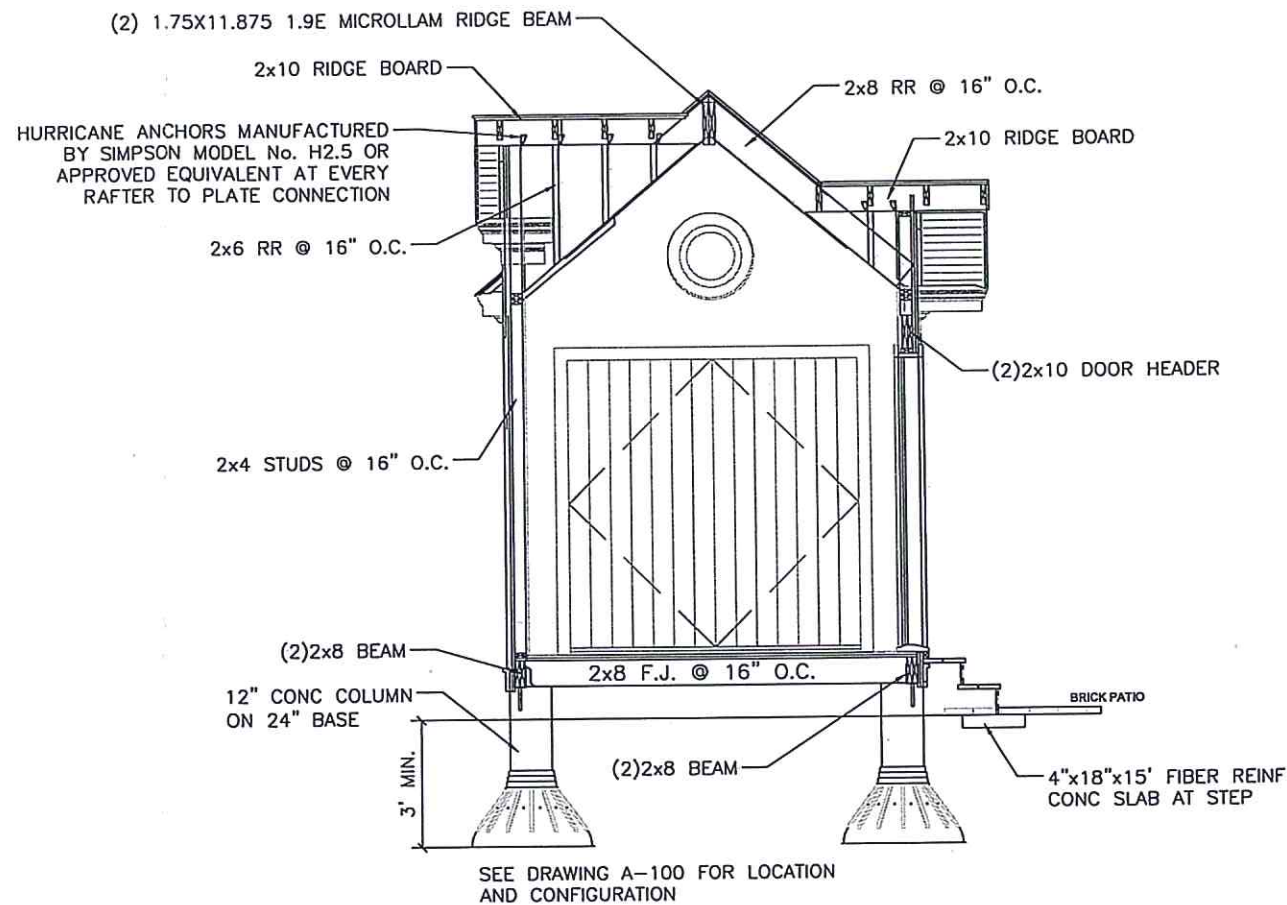
**SITE WORK**  
 STAKEOUT IS TO BE PERFORMED BY A LICENSED SURVEYOR. STAKING AND LAYOUT ARE TO ESTABLISH ALL LINES AND BENCHMARKS. VERIFY ALL GIVEN DATA ON DRAWINGS. IN CASE OF DISCREPANCY, RECEIVE CLARIFICATION FROM OWNER PRIOR TO PROCEEDING. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIAL. NEW AND EXISTING BACK FILL MATERIAL AND TOPSOIL ARE TO BE FREE OF WEEDS, TREE ROOTS, ROCKS AND DEBRIS. ALL SURPLUS MATERIAL THAT IS UNSUITABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM THE SITE. PROTECT ALL TREES WITHIN EIGHT FEET OF THE BUILDING. PROPER APPROVALS MUST BE OBTAINED BEFORE COVERING ANY EXCAVATED WORK.

**CONCRETE**  
 NO CONCRETE OR MASONRY WORK SHALL BE DONE DURING TEMPERATURES OF 40 DEGREES F. AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO ADDITIVES SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ENGINEER. ALL CONCRETE IS TO BE MIN. 3,000 P.S.I. AT 28 DAYS.

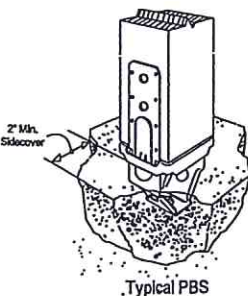
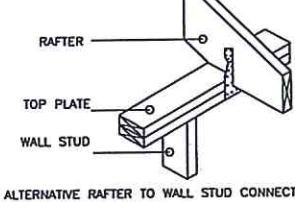
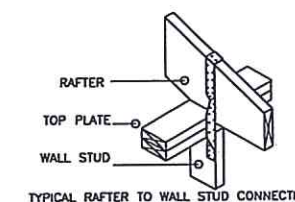
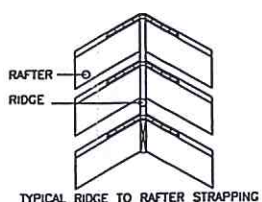
**FRAMING AND ROUGH CARPENTRY**  
 JOISTS AND RAFTERS SHALL BE CONSTRUCTION GRADE DOUGLAS FIR 1100 PSL. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE ACQ TREATED. PROVIDE SOLID BLOCKING AND DIAGONAL BRACING OF JOISTS AT 8' O.C. MAXIMUM AND SOLID BLOCKING UNDER ALL COLUMNS AND GIRDER SUPPORTS.

**DESIGN LOADS AND SPECIFICATIONS**

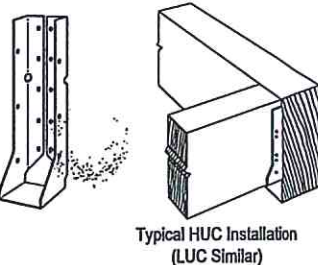
GROUND SNOW LOAD	20 PSF
DECK LIVE LOAD	no
CEILING LIVE LOAD	no
FIRST FLOOR LIVE LOAD	40 PSF
DESIGN WIND SPEED (TABLE R301.2.1.3)	109 MPH
SEISMIC DESIGN CATEGORY	B
WEATHER INDEX	SEVERE
FROST LINE DEPTH	3 FEET
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE
WINTER DESIGN TEMPERATURE	no
ICE SHIELD UNDERLAYMENT REQUIRED	no
CLIMATE ZONE	4
CONSTRUCTION TYPE	V
SOIL CAPACITY	1,500 PSF



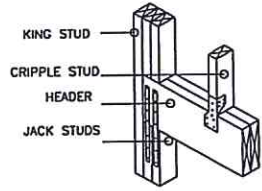
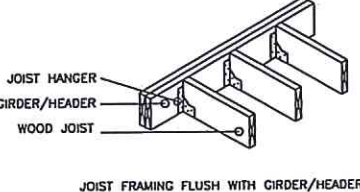
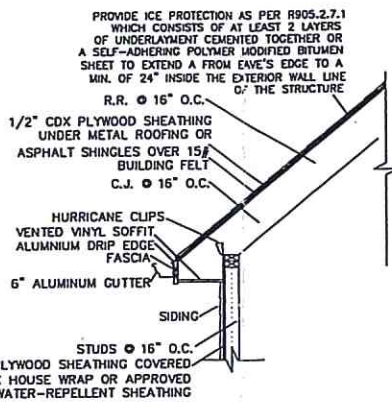
**Installation:**  
 • LUS hangers install with double shear nailing.  
 • For installations into single 2x headers or lodgers, use the specified full length fasteners into the joist and the following fasteners into the header for reduced loads in accordance with www.strongtie.com:  
 •• 10d x 1 1/2" nails for installations with Nails  
 •• SD #8 x 1 1/2" for LUS28Z and LUS210Z installations with SD Screws  
 •• SD #10 x 1 1/2" for LUS26-ZZ and LUS210-ZZ installations with SD Screws



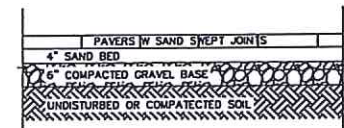
**Installation:**  
 • Embed into wet concrete up to the bottom of the 1" standoff base plate. A 2" minimum side cover is required to obtain the full load. Holes in the bottom of the straps allow for free concrete flow.  
 • Allow concrete to cure before installation of the post.



**Installation:**  
 • For HUC installations, models have triangle and round holes. To achieve maximum loads, fill both round and triangle holes (fastener quantities listed fill both holes).  
 • For installations into single 2x headers or lodgers, use the specified full length fasteners into the joist and the following fasteners into the header for reduced loads in accordance with www.strongtie.com:  
 • 10d x 1 1/2" nails for installations with Nails  
 • SD #8 x 1 1/2" for LUC26Z and LUC210Z installations with SD Screws



**FRAMING CONNECTOR DETAILS SCALE NTS**



**PAVER DETAILS SCALE NTS**

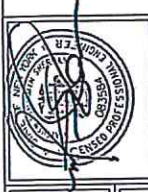
**WIND RESISTANT CONSTRUCTION CONNECTORS**

CONNECTION LOCATION:	PART NUMBER:	NOTES:
RIDGE-TO-RAFTERS	CS20 @ 21"	APPLY TO EACH PAIR OF RAFTERS
RAFTER-TO-WALL	H7	APPLY TO EACH RAFTER
RAFTER-TO-PLATE	H8 or H2.5	APPLY TO EACH RAFTER
PLATE-TO-WALL STUD	CS20 @ 18"	APPLY TO EACH WALL STUD
HEADER-TO-JACK STUD	CS20 @ 12"	APPLY TO EACH JACK STUD
CRIPPLE STUD-TO-HEADER	H3	APPLY TO EACH CRIPPLE STUD

USE THE FOLLOWING OR APPROVED SIMPSON METAL CONNECTORS FOR PROPER WIND RESISTANT CONSTRUCTION. FOLLOW MANUFACTURE'S RECOMMENDED INSTALLATION INSTRUCTIONS TO ACHIEVE MAXIMUM UPLIFT LOAD CAPACITY.

**CONSTRUCTION DETAILS & WIND LOAD PATH CONNECTION DETAILS NOT TO SCALE**

SHERMAN ENGINEERING & CONSULTING P.A.  
 14 NEWMAR AVE ST AUGUSTINE FL 32084  
 ST AUGUSTINE, FL 32084  
 631.831.3872



REV DATE COMMENTS  
 1 3.23.21 ISSUED FOR PERMIT

CHECKED BY: SECP

DRAWN BY: HBS

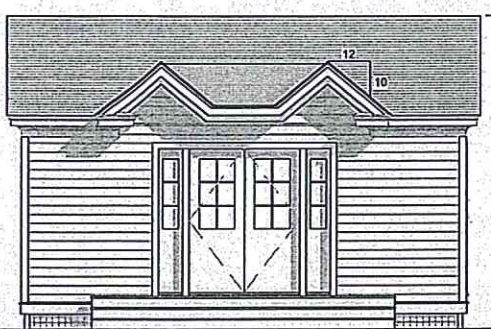
PROPOSED BUILDING  
 MILLER-MORROW  
 512 CARPENTER ST  
 GREENPORT, NY 11944

JOB#: E022102  
 DATE: 03.16.21  
 SCALE: AS NOTED  
 DRAWING NUMBER  
 S-100

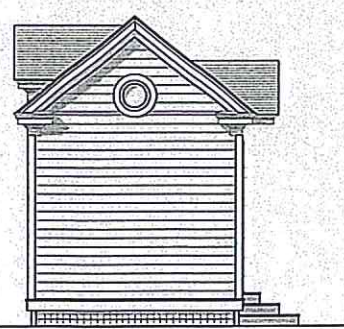
DRAWING: STRUCTURAL DETAILS



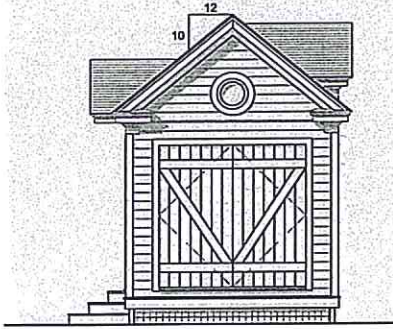
**SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"



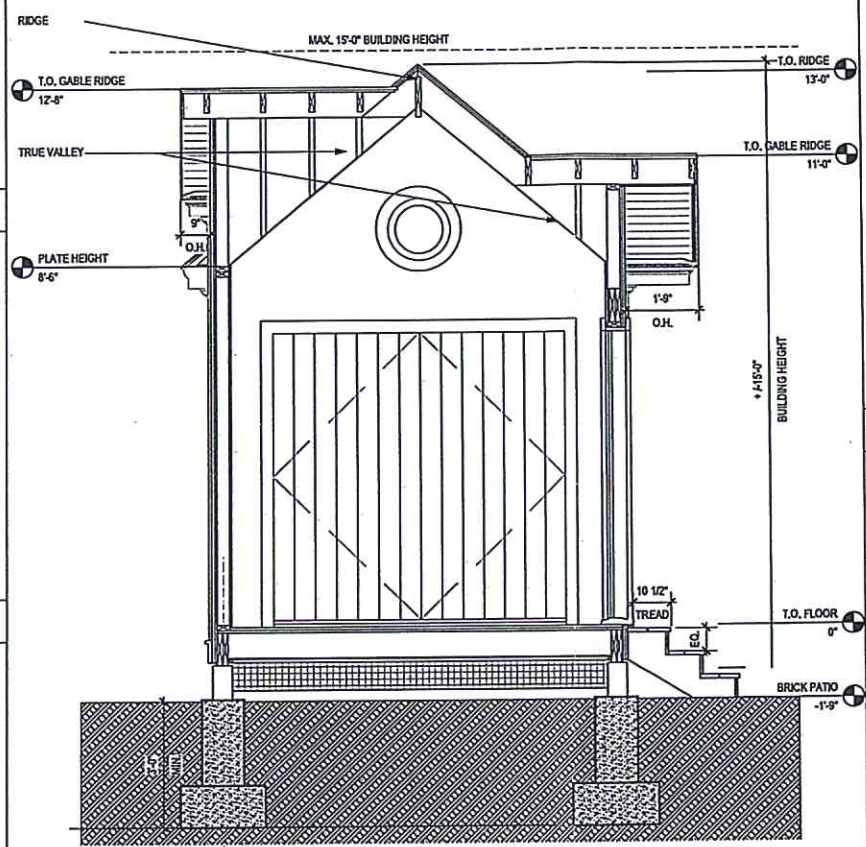
**NORTH ELEVATION**  
Scale: 1/4" = 1'-0"



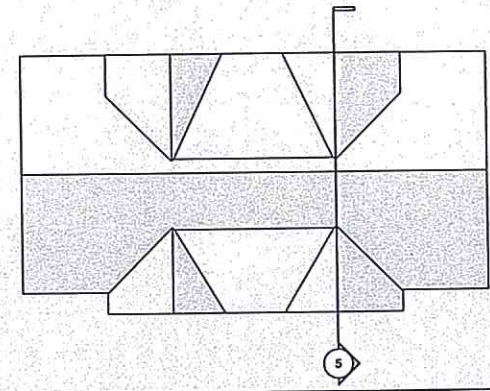
**EAST ELEVATION**  
Scale: 1/4" = 1'-0"



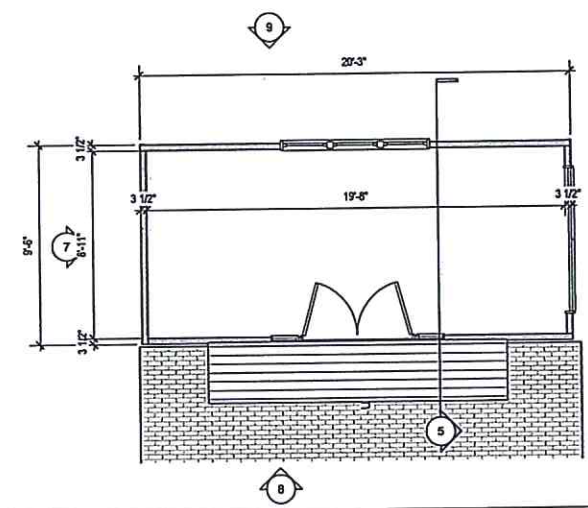
**WEST ELEVATION**  
Scale: 1/4" = 1'-0"



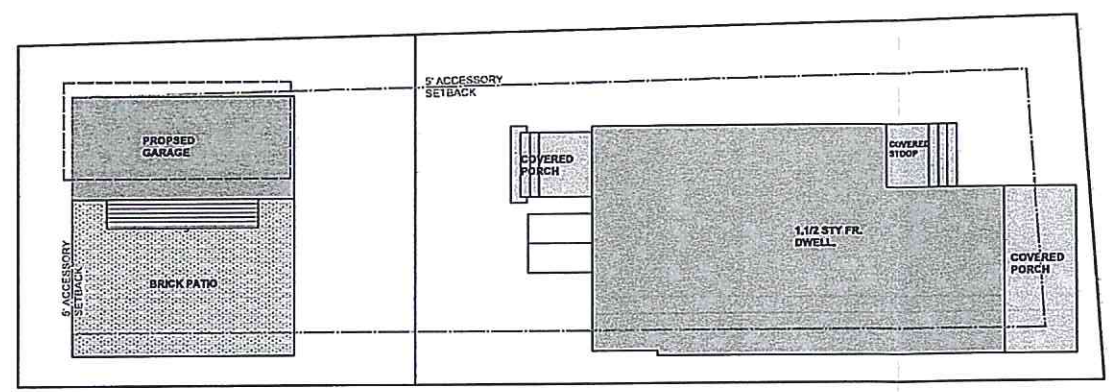
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Scale: 1/2" = 1'-0"



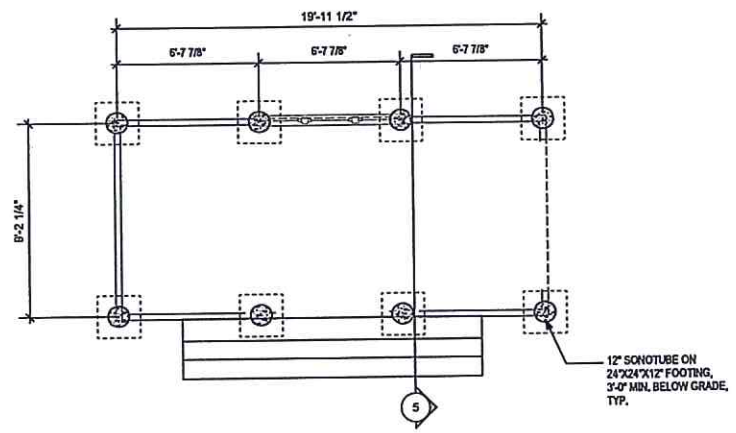
Scale: 1/4" = 1'-0"  
**ROOF PLAN**



Scale: 1/4" = 1'-0"  
**FLOOR PLAN**



**SITE PLAN**  
Scale: 1/8" = 1'-0"



Scale: 1/4" = 1'-0"  
**FOUNDATION PLAN**

**MILLER-MORROW  
RESIDENCE**  
512 CARPENTER STREET,  
GREENPORT, NEW YORK 11944

**BUILDING PERMIT  
NEW STORAGE SHED**

**STRUCTURAL & CIVIL DESIGN  
CODE COMPLIANCE**  
**SEC**  
SHERMAN ENGINEERING  
& CONSULTING  
14 NELMAR AVENUE  
ST AUGUSTINE, FL 32084  
631.831.3872



**PROJECT MANAGER:**  
**Esra Ozcan**  
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tel 631 833 4418  
esra@ozcanarch.com  
www.ozcanarch.com

March 16, 2021

SCALE: AS NOTED

SHEET NAME:  
**PLANS &  
ELEVATIONS**

SHEET NO:  
**A-100**