

ISAAC-RAE STUDIO
430 Main Street
Second Floor
Greenport NY 11944

September 24, 2021

Village of Greenport
Re: 511 Carpenter Street
Historic Preservation Committee

Good afternoon to the Historic Preservation Committee:

Please find the application for certificate of appropriateness regarding project 511 Carpenter Street. This project has been ratified and approved by Greenport Village ZBA. We will be filing the project's building permit early next week while the HPC reviews our submission. We understand the permit will not be granted until complete review and approval by this Historic Preservation Committee. Within you'll find six copies, as requested, of:

- Application for Certificate of Appropriateness
- Asbestos form
- Proposed materials document
- Abbreviated filing set that addresses all HPC related items including certified and stamped site plan as well as photos of adjacent properties for comparison

Thank you for your consideration and please let us know if you need any additional information from us at this time.

Sincerely,

Margot & Clay Coffey
Isaac-Rae Studio



BUILDING DEPARTMENT
 VILLAGE OF GREENPORT
 236 Third Street, Greenport, NY 11944

HISTORIC PRESERVATION COMMISSION REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PURSUANT TO THE PROVISIONS OF CHAPTER 48
 HISTORIC PRESERVATION LAW OF THE VILLAGE OF GREENPORT

DATE OF APPLICATION: 9-24-2021

LOCATION OF PROPERTY: 511 Carpenter street ,Greenport NY 11944

SUFFOLK COUNTY TAX MAP NUMBER: 1001-04-03-32

PROPERTY OWNER: Jenna and Donnie Williams

ADDRESS: [REDACTED]

PHONE: [REDACTED]

EMAIL ADDRESS: [REDACTED]

ARCHITECT/DESIGNER: ISAAC-RAE Studio

ADDRESS: 430 Main Street 2nd Fl Greenport NY 11944

PHONE: 347-276-6093

EMAIL ADDRESS: clay@isaac-rae.com

Type of Proposed Work

COMMERCIAL RESIDENTIAL

Site Work

- FENCE AND GATES
- DRIVEWAY, WALK, PATIO, OTHER PAVEMENT
- MAJOR EXCAVATION OR REGRADING, OR BERM
- SWIMMING POOL, TENNIS COURT
- OTHER STRUCTURAL LANDSCAPE ELEMENT
- SIGNAGE AND AWNINGS - SUBMIT SCALE DRAWINGS TO INDICATING TO FOLLOWING:
 - SIZE OF EACH SIGN
 - COLOR
 - FONT
 - LOCATIONS OF ALL SIGNAGE AND AWNINGS ON BUILDING
 - PROPOSED MATERIALS
- MODERN FEATURES
 - SOLAR PANELS
 - SKYLIGHTS
 - OUTDOOR SHOWERS
 - OTHER

Landscape Planting

- HEDGE ALONG STREET AND/OR PROPERTY BOUNDARY LINES
- PLANTINGS INTENDED TO SCREEN OTHER WORK DESCRIBED IN THIS APPLICATION

Buildings

- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- REMOVAL
- ACCESSORY BUILDING

Building Alterations

- EXTERIOR WALL MATERIAL
- ROOF MATERIAL AND COLOR
- CHIMNEY MATERIAL
- FOUNDATION MATERIAL
- DOORWAYS (INCLUDING STORM/SCREEN DOORS)
- WINDOWS (INCLUDING STORM/SCREEN SASH) AND SHUTTERS
- PORCHES AND STEPS
- TRIM AND DECORATIVE DETAIL
- GUTTERS AND LEADERS
- PAINT AND STAIN
- EXTERIOR LIGHTING
- OTHER

PROVIDE A GENERAL DESCRIPTION OF THE PROPOSED WORK (USE ADDITIONAL SHEETS IF NECESSARY, REFER TO THE ACCOMPANYING EXHIBITS).

Scope of work includes interior alterations that include removal of existing non load bearing walls, removal of existing plumbing fixtures. Interior works also include new non load bearing walls, plumbing fixtures, electrical fixtures, new interior egress stairs to 3rd floor, new concrete topping on ground floor and converting existing loft space into habitable third floor.

Exterior scope of work includes stucco repair to the building facades and painting main building and accessory structure off white Monterey White (Benjamin Moore HC-27). Exterior painting of existing front door of main structure and accessory structure to be painted Tarrytown Green (Benjamin Moore HC-134). Roof repair to main structure will repair existing fascia in kind.

LIST ALL EXHIBITS SUBMITTED WITH THIS APPLICATION. ACTUAL SAMPLES OF MATERIALS AND/OR DESCRIPTIONS OF ACTUAL MATERIALS ARE REQUIRED. (REFER TO THE INSTRUCTIONS FOR THE REQUIRED SUBMISSIONS).

HPC Application includes:

- 1) Building permit application
- 2) Complete and submit an Asbestos Certification Form- AC-1
- 3) Signed and sealed site plan prepared by architect.
- 4) Photos of adjacent properties
- 5) Details on proposed materials including specifications, photos along with physical samples for review.

OTHER APPROVALS REQUIRED:

SIGNATURE OF OWNER OR AUTHORIZED AGENT:

DATE:

M. Coffey

9/24/21



Village of Greenport Building Department

236 Third Street, Greenport, New York, 11944

(631) 477-0248 Ext. 212

www.villageofgreenport.org

ASBESTOS CERTIFICATION FORM

Notice to Building Applicants:

AN ASBESTOS SURVEY IS REQUIRED FOR ALL RENOVATION, REMODELING, REPAIR AND DEMOLITION OF ALL INTERIOR AND EXTERIOR BUILDING MATERIALS.

AS PER NEW YORK STATE INDUSTRIAL CODE RULE 56, ASBESTOS MATERIAL MUST BE ABATED BY LICENSED CONTRACTORS UTILIZING CERTIFIED ASBESTOS HANDLERS, WITH THE EXCEPTION OF OWNER-OCCUPIED SINGLE-FAMILY HOMES, WHERE THE OWNER MAY REMOVE THE ASBESTOS AND RENOVATE THESE STRUCTURES THEMSELVES. IT IS NOT RECOMMENDED THAT THE OWNER PERFORM ABATEMENT, AS THE OWNER COULD POTENTIALLY EXPOSE THEMSELVES, THEIR FAMILY AND NEIGHBORS TO ASBESTOS FIBERS IF ADEQUATE ENGINEERING CONTROLS AND WORK METHODS ARE NOT UTILIZED DURING THE ABATEMENT.

FOR FURTHER INFORMATION AND UPDATES, PLEASE SEE THE NEW YORK STATE WEBSITE AT: WWW.LABOR.STATE.NY.US OR CONTACT THE ASBESTOS CONTROL BUREAU DISTRICT OFFICE, NYS DEPARTMENT OF LABOR, ASBESTOS CONTROL BUREAU, 75 VARICK STREET, 7TH FLOOR, NEW YORK, NY 10013, TELEPHONE NUMBER 212-775-3538.

I hereby agree to abide by the conditions listed above. I understand that I am responsible to ensure these requirements are met, including all other applicable laws, rules and regulations pertaining to asbestos abatement.

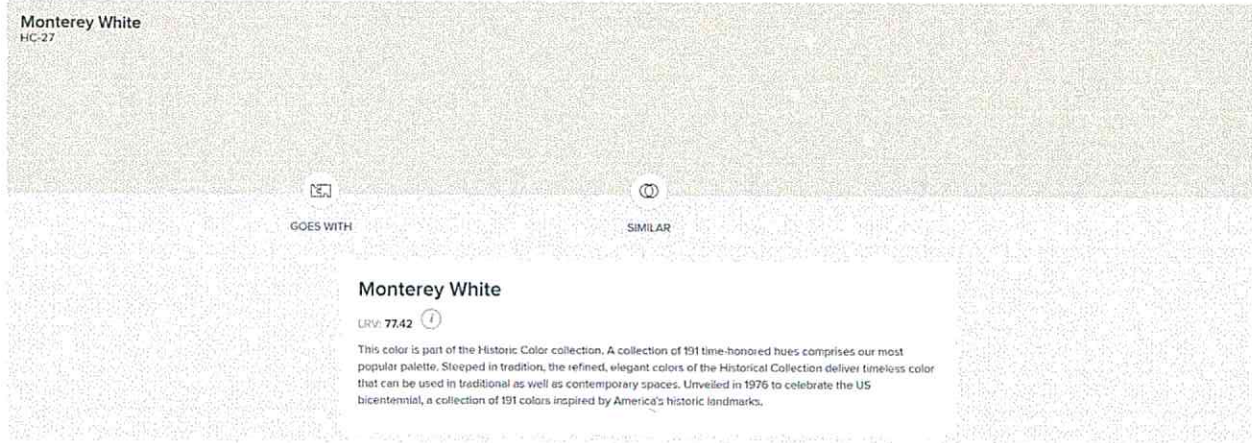
Property Owner's Name: DONALD WILLIAMS

Property Owner's Signature: 

Date: 9, 23, 21

Color of building stucco, trim, back deck and railings:

MONTEREY WHITE, HC-27 Benjamin Moore Paint



Color example:



Color of front door:

TARRYTOWN GREEN, HC-134, Benjamin Moore Paint

Tarrytown Green
HC-134

GOES WITH SHADES SIMILAR

Tarrytown Green
LRV: 7.65

This color is part of the Historic Color collection. A collection of 191 time-honored hues comprises our most popular palette. Steeped in tradition, the refined, elegant colors of the Historical Collection deliver timeless color that can be used in traditional as well as contemporary spaces. Unveiled in 1976 to celebrate the US bicentennial, a collection of 191 colors inspired by America's historic landmarks.

Door color example:



GENERAL NOTES :

CONSTRUCTION NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
2. REFER TO THE WINDOW AND DOOR SCHEDULE FOR EXTERIOR OPENINGS.
3. REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING PLANS
4. REFER ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS INCLUDING SLAB AND FINISH FLOOR ELEVATIONS
5. 130 MPH WIND LOAD REQUIREMENTS SHALL BE TAKEN INTO ACCOUNT DURING CONSTRUCTION.

FOUNDATION NOTES:

1. THE GENERAL CONTRACTOR AND MASON TO REVIEW PLANS, ELEVATIONS, DETAILS AND NOTES TO DETERMINE INTENDED HEIGHTS OF FINISHED FLOORS ABOVE GRADE.
2. GENERAL CONTRACTOR TO RETAIN SURVEYOR TO SET OR VERIFY DATUMS AND FINISHED FLOOR ELEVATIONS
3. DRAINAGE AS REQUIRED BY HALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.
4. ALL FOOTINGS MUST REST ON APPROPRIATE BEARING MATERIAL SEE STRUCTURAL ENGINEER'S DRAWINGS FOR ADDITIONAL DETAILS
5. ANY NEW CONCRETE WALLS BEING ATTACHED TO EXISTING CONCRETE STRUCTURE TO BE INSTALLED WITH #5 RE-BAR, MIN 18" LONG AT 12" O.C. MIN EMBED TO BE 9" USE APPROVED EPOXY FOR ANCHORING UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE TO BE 4000 P.S.I. CONCRETE TO BE POURED AT MIN 4" THICK SAND OR GRAVEL FILL WITH 6X6 WIRE MESH REINFORCING. SLAB THICKNESS TO BE MIN 5" THICK.
6. ALL FILL TO BE COMPACTED TO 95% RELATIVE DENSITY AT 6" MAX LIFTS
7. CRAWL SPACES TO BE PROVIDED WITH MIN. 24"x24" ACCESS OPENING.
8. UNCONDITIONED CRAWL SPACES TO HAVE 8x16" CAST IRON FOUNDATION VENTS FOR EVERY 150 SQFT OF AREA
9. DAMPROOF EXTERIOR OF FOUNDATION WITH BITUMINOUS COATING AS REQUIRED BY 2015 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 SUPPLEMENTAL CODE. A 6 MIL POLYETHYLENE FILM SHALL BE APPLIED TO THE BELOW GRADE PORTION OF EXTERIOR WALLS PRIOR TO BACKFILLING

FRAMING NOTES

1. ALL FRAMING TECHNIQUES SHALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.
2. STRUCTURAL LUMBER SHALL BE GREEN DOUGLAS FIR LARCH NO. 2, OR BETTER, UNLESS OTHERWISE NOTED ON THE PLANS
3. INTERIOR METAL FRAMING SHALL BE 18 GAUGE OR BETTER UNLESS OTHERWISE NOTED ON THE PLANS
4. FLOORS, WALLS, CEILINGS AND RAFTERS TO BE SPACED AT 16 INCHES O.C. UNLESS NOTED
5. UNLESS OTHERWISE NOTED, ALL BEARING WALL HEADERS TO BE (2) 2X10 #2 + BTR. DOUG. FIR BEARING WALL HEADERS TO HAVE (2) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF ALL OPENINGS. LVL HEADERS TO HAVE (3) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF OPENINGS. BEARING WALL WINDOW SILLS SHALL ALSO HAVE (2) WINDOW SILL PLATES FOR 2X4 WALL OPENINGS BETWEEN 4'1" AND 6'0" AND 2X6 WALL OPENINGS BETWEEN 5'11" AND 8'9". PROVIDE FIRE AND BLOCKING WHERE APPLICABLE.
6. ALL FLUSH BEAMS/HEADERS TO BE INSTALLED WITH HEAVY DUTY GALVANIZED HANGERS AND ANCHORS WHERE APPLICABLE TO ALL CONNECTING JOISTS.
7. DOUBLE UP FLOOR JOISTS UNDER WALLS THAT RUN PARALLEL TO THE FLOOR JOIST AND UNDER BATH TUBS. FLOORS TO HAVE CERAMIC TILE INSTALLED SHALL BE VERIFIED FOR PROPER LOAD CAPACITY UNLESS NOTED ON PLANS.
8. PROVIDE 2 - 1/34" THICK MICROLAMS (HEIGHT TO MATCH FLOOR JOISTS) AROUND STAIRWELL AND/OR OTHER ACCESS OPENINGS UNLESS OTHERWISE NOTED (TYPICAL).
9. PROVIDE BLOCKING/BRIDGING IN FLOOR JOISTS AT 8'0" O.C. USE SOLID BLOCKING IN FLOOR JOISTS UNDER ALL BEARING WALLS.
10. PROVIDE INSULATION BARRIERS AT EAVE VENTS BETWEEN RAFTERS. INSTALL DRAFT BLOCKING AS NEEDED.
11. UNLESS OTHERWISE NOTED, ALL ROOFS AND WALLS TO HAVE A MINIMUM 1/2" THICK, 4-PLY FIR CDX EXTERIOR SHEATHING GRADE PLYWOOD. PLYWOOD TO COVER OVER PLATES AND HEADERS. UNLESS OTHERWISE NOTED USE 3/4" THICK T&G PTS FIR OR ADVANTECH PLYWOOD SUBFLOOR ADHERED WITH PL400 ADHESIVE AND SCREWED TO FLOOR JOISTS. FINISHED FLOOR TO BE INSTALLED OVER SUBFLOOR AS PER MANUFACTURER'S INSTRUCTIONS.
12. ALL BATHROOM WALLS TO HAVE 5/8" THICK MOISTURE-RESISTANT SHEETROCK.
13. 1 HR FIRE RATED ASSEMBLYS TO HAVE ONE LAYER OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSUIUL 263 AND UL DESIGN NO. U419
14. 2 HR FIRE RATED ASSEMBLYS TO HAVE TWO LAYERS OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSUIUL 263 AND UL DESIGN NO. U419
15. ALL ROOFS AND SHEATHING TO BE INSTALLED WITH ICE AND WATER SHIELD, HENRY BLUE SKIN OR APPROVED EQUAL.
16. ALL FLAT ROOFS TO BE APPLIED WITH AN EPDM 6MILL MATERIALS
17. ALL SILL PLATES AND WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. SILL PLATES TO BE INSTALLED WITH FOAM SILL GASKETS AND COP-R-TEX TERMITE SHIELD OR APPROVED EQUAL.

FIREBLOCKING NOTES

AS REQUIRED BY CURRENT 2018 IBC/2017 SUPPLEMENT - FIREBLOCKING REQUIRED. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH CURRENT N.Y.S. RESIDENTIAL CODE.
4. AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
5. RECOMMENDED FIRE BLOCKING PRODUCTS BOSS 814 OR APPROVED EQUAL TO MEET ASTM E-814 (UL 1479)
6. PROVIDE 5/8" TYPE-X SHEETROCK FIRE STOPPING AT 10'0" MAXIMUM DISTANCES FOR NON ACCESSIBLE AREAS.

INSULATION

1. INSULATION TO MEET OR EXCEED NYS ECCC 2020 ENERGY CODE 2018 IBC AND 2017 SUPPLEMENTAL CODE
2. INSULATION TO FOLLOW SPECIFICATIONS AS OUTLINED IN RESCHECK
3. VAULTED CEILINGS INSULATED TO R45 OR GREATER
4. ABOVE GRADE WALLS TO BE INSULATED TO R-32 OR GREATER
5. FOUNDATION WALLS TO BE INSULATED TO R-10 OR GREATER
6. FRAMED FLOORS TO BE INSULATED TO R-32 OR GREATER
7. SLABS ON GRADE TO BE INSULATED TO R-10 UNDER SLAB.

REQUIRED INSULATION AS FOLLOWS

- CEILINGS : 4" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 per inch. WITH ROCKWOOL R23 5-1/2" for total of R49
- WALLS: 3" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 PER INCH. WITH ROCKWOOL R15 3-1/2" FOR TOTAL OF R34.5
- FLOORS: 3" SPRAYED CLOSED CELL CONTINUOUS INSULATION R6.5 PER INCH. WITH ROCKWOOL R15 3-1/2" FOR TOTAL OF R34.5
- SLABS 3" EXPANDED POLYSTYRENE INSULATION FOR R12

PLUMBING NOTES

1. All water supply, drainage and venting to be installed as per IBC 2015/2017 SUPPLEMENT, and shall meet Suffolk County Health Department requirements as stated on septic permit
2. Verify septic system with the Engineer for Suffolk County Health Department approval.
3. If wall studs, plates or joists are cut out during installation for any plumbing related work, provide adequate bracing and plates to protect and secure the structure. Verify with the state code and manufacturer's recommendation for maximum hole size and spacing permitted

HVAC SYSTEM NOTES

- 1). Mechanical subcontractor is responsible for adhering to all applicable codes and safety requirements
- 2). HVAC subcontractor is to fully coordinate all system data and requirements with the equipment supplier.
- 3). HVAC subcontractor to provide final system layout drawing / shop drawings and submit it to the General Contractor and owner for final review and approval.

ELECTRICAL NOTES:

- 1). All electrical to be installed as per IBC 2018/2017 SUPPLEMENT
- 2). All electrical work shall be approved by a qualified Underwriter.
- 3). Install Smoke detectors and Carbon Monoxide detectors throughout as required by current N.Y.S. Residential Construction Code.

THESE NOTES ARE ONLY TO BE REFERRED TO IF MENTIONED IN SCHEDULE NOTES ONLY.

NAILING SCHEDULE
DESIGN CRITERIA 2015 INTERNATIONAL BUILDING CODE /2017 SUPPLEMENT

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
RAFTER TO TOP PLATE	8" WALL: 3-8d 10" WALL: 4-8d	EACH RAFTER	TOE-NAIL
CEILING JOIST TO TOP PLATE	8" WALL: 3-8d 10" WALL: 4-8d	EACH JOIST	TOE-NAIL
CEILING JOIST TO PARALLEL RAFTER	AS PER TABLE 3.7 WFCM -	EACH LAP	FACE NAIL
CEILING JOIST LAPS OVER PARTITION	AS PER TABLE 3.7 WFCM -	EACH LAP	FACE NAIL
COLLAR TIE TO RAFTER	AS PER TABLE 3.4 WFCM -	EACH END	FACE NAIL
BLOCKING TO RAFTER	2 - 8d	EACH END	TOE NAIL
RM TO RAFTER	2 - 16d	EACH END	END NAIL

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
TOP PLATE TO TOP PLATE	2 - 16d	PER FOOT	FACE NAIL SEE NOTE: 1
TOP PLATES AT INTERSECTIONS	4 - 16d	JOINTS EA. SIDE	FACE NAIL
STUD TO STUD	2 - 16d	24" O.C.	FACE NAIL
HEADER HEADER	16d	16" O.C. ALONG	FACE NAIL
TOP OR PLATE TO STUD	2 - 16d 3 - 16d	PER 2x4 PER 2x6	END NAIL
BOTTOM PLATE FLOOR JOIST, BAND END JOIST OR	2 - 16d	PER FOOT	FACE NAIL SEE NOTE: 1,2

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
JOIST TO SILL TOP PLATE OR GIRDER	4 - 8d	PER JOIST	TOE NAIL
BRIDGING TO JOIST	2 - 8d	EACH END	TOE NAIL
BLOCKING TO JOIST	2 - 8d	EACH END	TOE NAIL
BLOCKING SILL OR TOP PLATE	3 - 16d	EACH BLOCK	TOE NAIL
LEDGER STRIP TO	3 - 16d	EACH JOIST	FACE NAIL
JOIST ON TO	3 - 8d	PER JOIST	TOE NAIL
BAND JOIST TO JOIST	3 - 16d	PER JOIST	END NAIL
BAND JOIST TO SILL OR TOP PLATE	2 - 16d	PER FOOT	TOE NAIL SEE NOTE: 1

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL	8d	AS PER TABLE 3.8 WFCM -

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
GYPSU WALLBOAR	5d	7" O.C. 10" O.C. FIELD

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL PANELS	8d	AS PER TABLE 3.9 WFCM -
7/16" OSB PLYWOOD	6d	3" O.C. 6" O.C. FIELD
GYPSU WALLBOAR	5d	7" O.C. 10" O.C. FIELD

JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL 1" OR LESS	8d	6" O.C. 12" O.C. FIELD

- 1). Nailing requirements are based on wall sheathing nailed 6" on-center at the panel edge. If wall sheathing is nailed 3" on-center at the panel edge to obtain higher shear capacities, nailing requirements for structural members shall be doubled, or alternate connectors, such as shear plates, shall be used to maintain load path.
- 2). When wall sheathing is continuous over connected members, the tabulated number of nails shall be permitted to be reduced to 1 - 16d nail per foot

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/14/2020	Greenport Village Planner
2	0/05/2021	Greenport ZBA Submittal
3	4/28/2021	Greenport ZBA Submittal coverage update
4	5/16/2021	Greenport ZBA Submittal coverage update
5	5/16/2021	Greenport ZBA Submittal coverage update
6	6/23/2021	Greenport ZBA Submittal coverage update

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELEIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

Consultants:

SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE
PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:

ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Coffey
NYS LIC#039767
T. 347-276-6093 E. clay@isaac-rae.com

Project:

511 CARPENTER ST.
GREENPORT NY 11944

Project No.:

IR-02

Seal Signature:



Date:

SCALE AS NOTED

Drawing Title:

GENERAL NOTES

Drawing No.:

T-002.00

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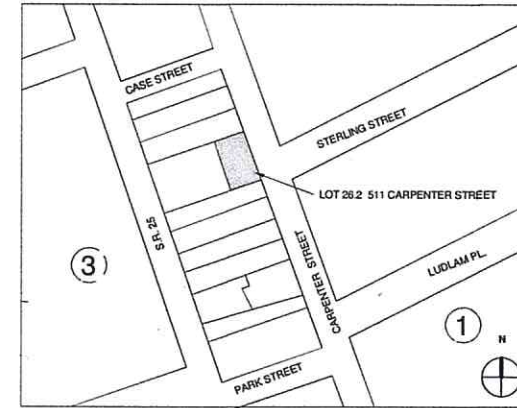
1 GENERAL NOTES
1/4" = 1'-0"

9/24/2021 3:22:33 PM ALL DESIGNS AND OTHER DISCLOSURES SET FORTH HEREIN ARE THE PROPERTY OF WALKER WOODALL, LLC. IN ACCEPTING THIS INFORMATION YOU AGREE NOT TO REPRODUCE OR CONSTRUCT IT, IN WHOLE OR PART, WITHOUT THE EXPLICIT WRITTEN PERMISSION OF ISAACRAE LLC.

SITE PLAN INFORMATION

COUNTY	SUFFOLK
TAX MAP NUMBER	1001-04-03-32
VILLAGE	GREENPORT
BLOCK	3
LOT	26.3
NUMBER OF FLOORS	3
LOT AREA	.11 ACRES OR 4791.6 SQFT
ALLOWABLE BUILDING COVERAGE	1,437 OR 30%
EXISTING BUILDING COVERAGE	2,952 OR 62.3%
PROPOSED BUILDING COVERAGE	2,895 OR 60%
ZONING	R-2
ZONING MAP	GREENPORT VILLAGE
LANDMARK DESIGNATION	NONE
HISTORIC DISTRICT	YES
BUILDING HEIGHT	38 FT
CONSTRUCTION CLASSIFICATION	VB- COMBUSTIBLE
OCCUPANCY USE GROUP	RESIDENTIAL R-2
ACCESSORY OCCUPANCY USE GROUP	-

NOTES: SPRINKLERS SYSTEM PARTIALLY SPRINKLERED (PROPOSED)
ALL ROOFS TO HAVE GUTTERS AND LEADERS TO CONTROL SPRINKLER WATER RUNOFF



② Plot Plan Copy 1
1" = 80'-0"

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	10/24/2020	Greenport Village Review
2	2/26/2021	Greenport ZSA Submittal
3	4/28/2021	Greenport ZSA Submittal coverage update
4	5/19/2021	Greenport ZSA Submittal coverage update
5	8/23/2021	Greenport ZSA Submittal coverage update
6		

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Consultants:

SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE
PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:

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11575 Main Bayview Road
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T. 347-276-6093 E. clay@isaac-rae.com

Project:

511 CARPENTER ST.
GREENPORT NY 11944

Project No.:

IR-02

Scale:

AS NOTED

Date:

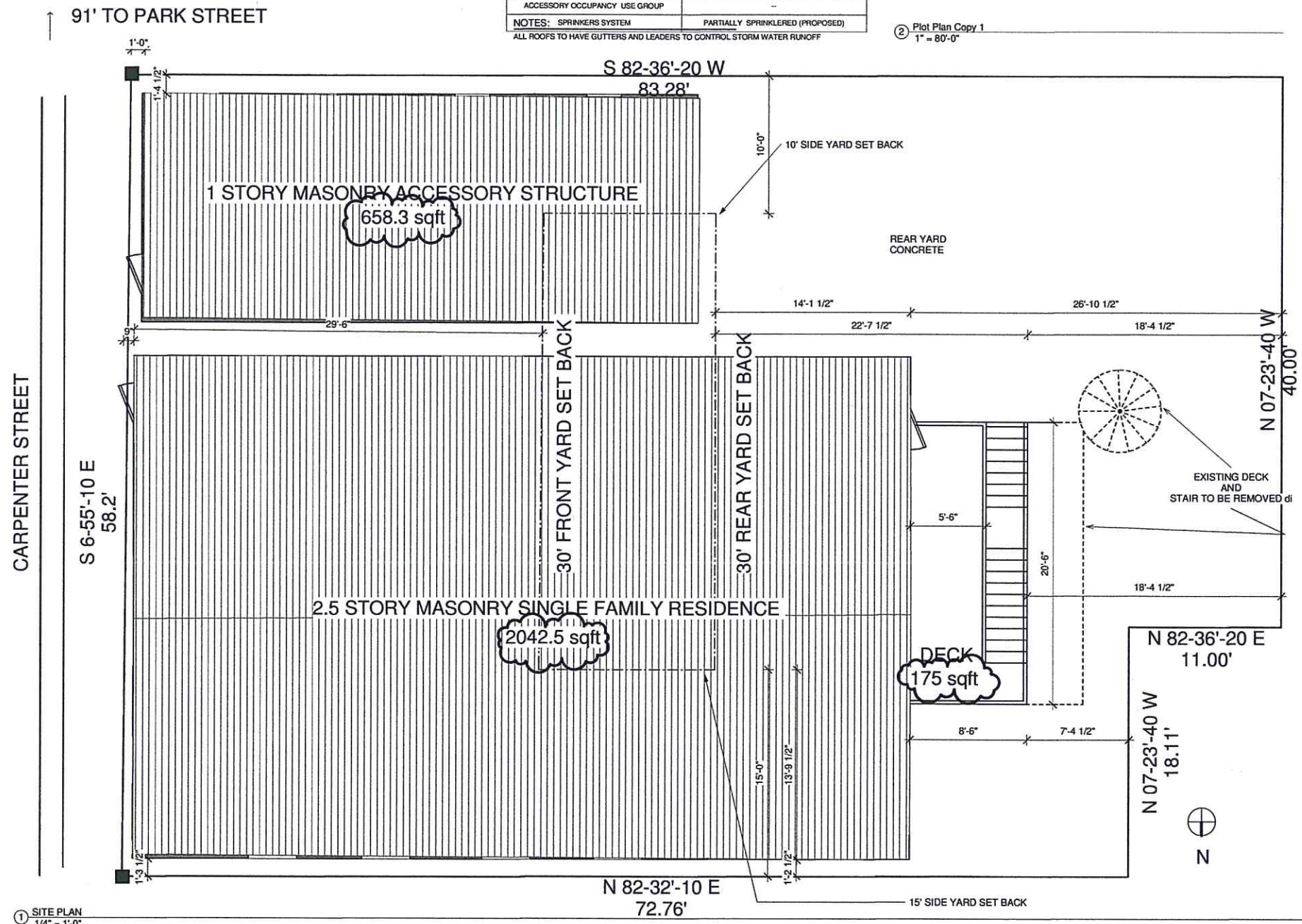
AS NOTED

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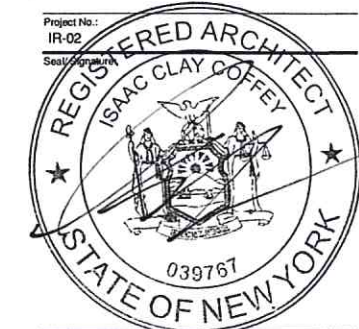
SITE PLAN

Drawing No.:

A-100.00

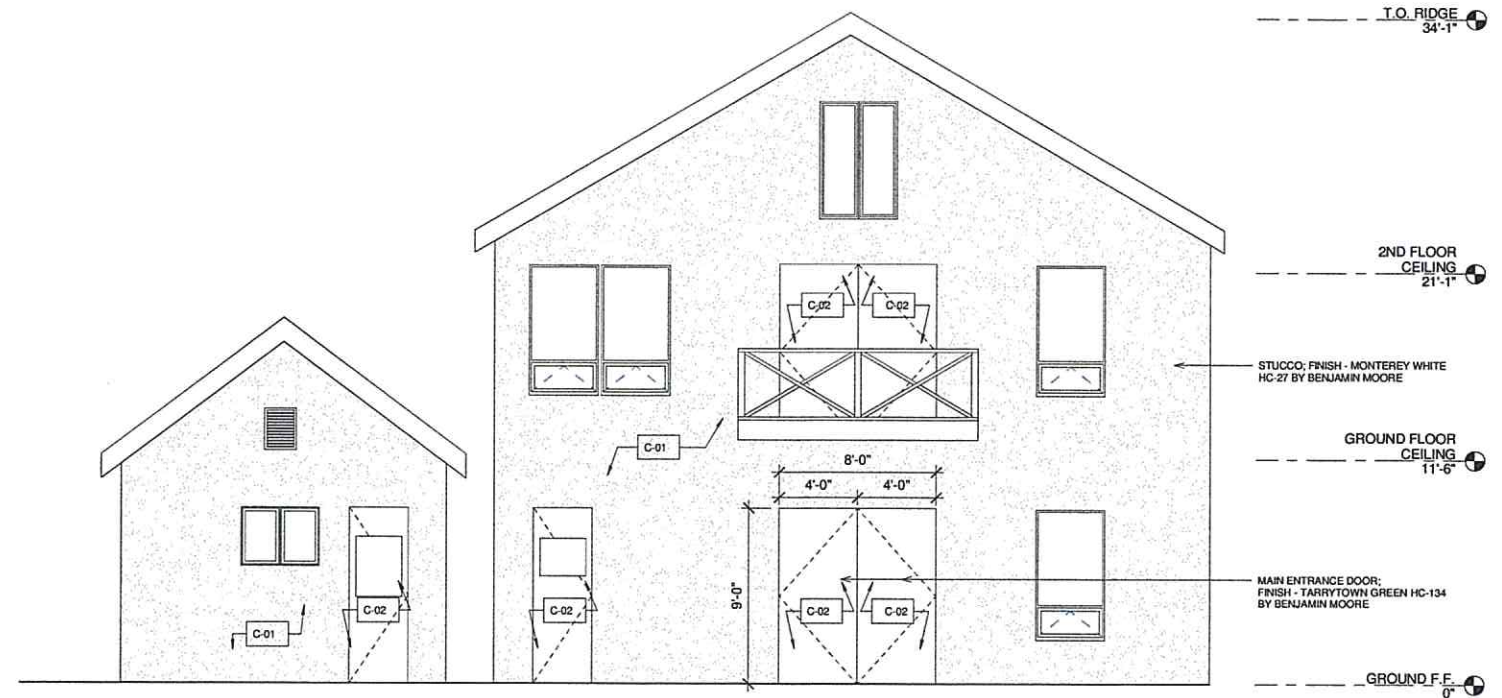


① SITE PLAN
1/4" = 1'-0"

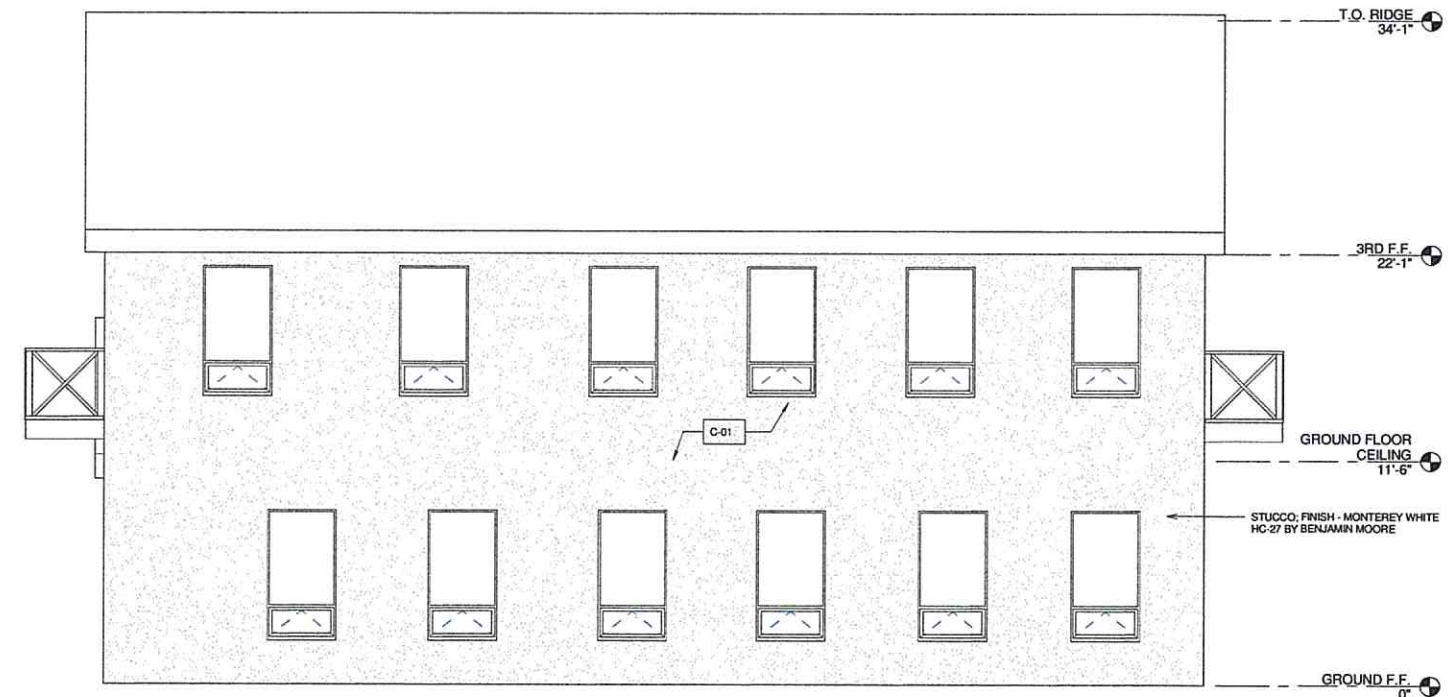


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① FRONT ELEVATION
1/4" = 1'-0"



② SIDE ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTE	
KEY	NOTE
C-01	EXISTING STUCCO FACADE; FINISH TO MATCH MONTEREY WHITE HC-27 BY BENJAMIN MOORE
C-02	EXISTING ENTRY DOOR; FINISH TARRYTOWN GREEN HC-134 BY BENJAMIN MOORE

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	08/05/2021	TOWN ZBA REVIEW
2		
3		
4		
5		
6		

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Consultants:
Megan Walker Law (607) 222-6690
meganwalker1@gmail.com

Architect of Record:
ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Coffey
NYS LIC#039767
T. 347-276-6093 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENPORT NY 11944

Project No.:
IR-02
Seal/Signature:



Date: _____
Drawing Title:
BUILDING ELEVATIONS

Drawing No.:
A-200.00

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/25/2021	Greenport ZSA Submittal
3	4/28/2021	Greenport ZSA Submittal coverage update
4	5/10/2021	Greenport ZSA Submittal coverage update
5	6/23/2021	Greenport ZSA Submittal coverage update
6		

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Consultants:

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Project:

511 CARPENTER ST.
GREENPORT NY 11944

Project No.:

1R-02

Seal/Signature:



Date:

AS NOTED

Drawing Title:

SITE PICTURES

Drawing No.:

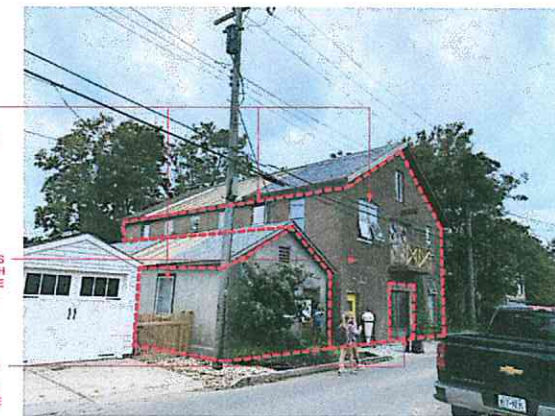
A-201.00



FRONT VIEW OF EXISTING MAIN HOUSE AND ACCESSORY STRUCTURE



SIDE VIEW OF EXISTING MAIN HOUSE



CORNER VIEW OF EXISTING MAIN HOUSE AND ACCESSORY STRUCTURE



PICTURE OF ADJACENT PROPERTY.



PICTURE OF ADJACENT PROPERTY.



PICTURE OF ADJACENT PROPERTY.

PROPOSED WINDOW AND DOOR TRIMS TO MATCH MONTEREY WHITE HC-27 BY BENJAMIN MOORE

PROPOSED EXTERIOR WALLS FINISH TO BE STUCCO. FINISH TO MATCH MONTEREY WHITE HC-27 BY BENJAMIN MOORE

PROPOSED ENTRY DOOR TO BE PAINTED. FINISH TO MATCH TARRYTOWN GREEN HC-134 BY BENJAMIN MOORE

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PROPOSED ENTRY DOOR TO BE PAINTED. FINISH TO MATCH TARRYTOWN GREEN HC-134 BY BENJAMIN MOORE

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