#### RESIDENTIAL GENERAL NOTES

MISC. GENERAL NOTES I. THIS PROJECT IS THE EXTERIOR RENOVATION OF THE STOREFRONT FACADE OF A 2-STORY RESTAURANT, ZONED AS CR.

2. THE HEIGHT OF THE STRUCTURE WILL NOT CHANGE. 3. THE TYPE OF CONSTRUCTION IS TYPE V (B).

4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 BUILDING CODE of NEW YORK STATE, 2020 EXISTING BUILDING CODE of NEW YORK STATE, AND THE AF \$ PA WOOD FRAME CONSTRUCTION MANUAL 2015 HIGH WIND EDITION.

5. DESIGN LOAD CALCULATION ARE BASED ON: LIVE LOAD: AS PER TABLE R30 I.4, BUILDING CODE of NEW YORK STATE 2020. DEAD LOAD: CALCULATED AS PER R301.3 AS PER BCNYS 2020. SNOW LOAD: 20 PSI GROUND SNOW LOAD (AS PER FIG. R301.2(5) BCNYS 2020.

20 LB. 15 L/360

WIND EXPOSURE CATEGORY "C", FOR 130 MPH 3 SECOND GUST. LIVE DEAD DELECT LIMIT 40 LB. 12 L/360 2ND.FL. (SLEEP AREA) 30 LB. 12 L/360

ATTIC (NON STORAGE) 20 LB. 10 L/360

6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THERE ARE NO WARRANTIES, NOR ANY MERCHANTIBILITY OF FITNESS FOR A SPECIFIC USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS. 7. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY. 8. CONTRACTOR(S) SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT SHOWN, LISTED, OR DESCRIBED ON THESE DRAWINGS SUBJECT TO QUALIFICATIONS, CONDITIONS, OR EXCEPTIONS AS NOTED. CONTRACTOR SHALL FURNISH ALL LABOR, SCAFFOLDING, AND TOOLS NECESSARY TO

9. ALL MATERIAL SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURES REQUIREMENTS AND SPECIFICATIONS. 10. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS, APPROVALS AND CERTIFICATE OF OCCUPANCY.

### DEMOLITION

COMPLETE THE WORK.

I. CONTRACTOR SHALL DEMOLISH WALLS, FLOOR, AND EXISTING ROOF AS INDICATED ON DRAWINGS AND AS NECESSARY AND REMOVE DEBRIS 2. CONTRACTOR SHALL DO ALL PATCHING REQUIRED DUE TO REMOVAL OF EXISTING WORK AND OR 3. ALL NEW WORK SHALL MATCH AND MEET FLUSH TO EXISTING WORK AS CLOSELY AS POSSIBLE UNLESS

OTHERWISE NOTED. 4. EXISTING STRUCTURE AND INTERIORS TO REMAIN SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION AND CONSTRUCTION. 5. CONTRACTOR SHALL PROTECT EXISTING SERVICES TO REMAIN AND SHALL NOTIFY ALL UTILITIES AND TELEPHONE SERVICES AND MAKE ARRANGEMENTS FOR HOOK-UP, REMOVAL, OR CAPPING OF EQUIPMENT AS NECESSARY.

#### FOUNDATIONS

1. ASSUMED SOIL BEARING CAPACITY, 1,500 lb./Sq.Ft.
2. CONCRETE TO BE PLAIN, REINFORCED, 3,000 psi. -28 DAY TEST.
3. ALL NEW FOOTINGS TO REST ON UNDISTURBED SOIL.

## GENERAL CONSTRUCTION

I. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL WOOD AND PLASTIC WORK REQUIRED BY THE DRAWINGS AS SPECIFIED HEREIN, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK. 2 FASCIAS. SOFFITS AND EXTERIOR TRIM SHALL MATCH EXISTING. 3. INTERIOR TRIM SHALL MATCH EXISTING.

4. FRAMING ELEMENTS: A. ALL FRAMING LUMBER SHALL BE GRADE STAMPED DOUGLAS FIR-LARCH STRUCTURAL GRADE NO.2 B. ALL ENGINEERED LUMBER SHALL BE AS INDICATED ON DRAWINGS, AND SHALL BE INSTALLED, CUT AND DRILLED IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS.

C. ALL SHEATHING TO BE APA RATED, EXPOSURE 1, THICKNESS AS INDICATED.

D. ALL SUB FLOORING TO BE APA RATED STURD-1-FLOOR, EXPOSURE 1, 3/4" MIN. THICKNES. E. ALL HEADERS 6'-0" AND OVER SHALL BE SUPPORTED WITH DOUBLE UPRIGHTS, 9'-0" AND OVER WITH TRIPLE UPRIGHTS, ALL HEADERS SHALL BE A MIN. OF (2)2"x8" OR AS SHOWN ON DRAWING. F. SOLID BLOCKING SHALL BE PROVIDED FOR ALL JOISTS AND FLOOR BEAMS AS PER BCNYS 2020 OR AS NOTED @ 8'-0" O.C. MIN.. PROVIDE 2" SPACE FOR AIR CIRCULATION IN ROOF.
G. PROVIDE DOUBLE FRAMING AROUND ALL OPENINGS (STAIRS, ETC.) OR AS NOTED ON DRAWINGS.

H. PROVIDE DOUBLE UP FRAMING UNDER ALL POSTS AND PARALLEL PARTITIONS OR AS NOTED ON i. All flush wood connections shall be fastened with rated galvanized metal CONNECTORS BY "SIMPSON" OR APPROVED EQUAL.

J. NAILING SCHEDULE SHALL BE AS PER BUILDING CODE of NEW YORK STATE 2020 AS A MINIMUM. ALL 2"xG" STUDS SHALL RECEIVE (5) I Od NAILS AT SILL AND PLATE. ALL EXTERIOR NAILS SHALL BE GALVANIZED. SEE ATTACHED NAILING SCHEDULE. K. PLYWOOD SHEATHING TO BE NAILED 8d NAILS @ 4" O.C. EXTERIOR EDGES AND 6d NAILS @ I 2" O.C. INTERMEDIATE. SEE ATTACHED NAILING SCHEDULE.
L. ALL INTERIOR AND EXTERIOR FINISHES TO BE SELECTED BY OWNER.

M. ALL ROOF RAFTERS SHALL BE ATTACHED TO THE PLATE AND STUD WITH GALVANIZED HURRICANE TYPE CONNECTORS BY "SIMPSON" OR APPROVED EQUAL. FOR TIMBER PILE FOUNDATIONS, PROVIDE HURRICANE CLIPS AT ALL PERIMETER JOISTS TO GIRDER CONNECTIONS. 5. ALL NEW WINDOWS TO BE THERMAL INSULATED LOW-E GLASS, WITH ARGON GAS, IMPACT RESISTANT AS

6. LOAD PATHS ARE INDICATED BY SECTION DRAWINGS. 7. STRAPPING AND NAILING TO MEET THE MINIMUM CODE REQUIREMENTS OF THE 2020 BCNYS AND THE 2020 WFCM. (SEE NAILING SCHEDULE) 8. FLASHING AT ALL WINDOW AND DOOR OPENINGS SHALL BE EPDM OR APPROVED RUBBERIZED

9. FLASHING AT ROOF CONNECTIONS, VALLEYS, CHIMNEYS AND CRICKETS SHALL BE ALUMINUM.
10. STEP FLASHING SHALL BE USED AT ALL INTERSECTIONS OF SLOPED AND VERTICAL SURFACES, EXCEPT STEP FLASHING AND COUNTER- AND CAP- FLASHING SHALL BE USED AT INTERSECTION OF ROOF AND CHIMNEY, AND ROOF AND WALLS. 11. INSULATION SHALL BE BATT INSULATION OF THICKNESS INDICATED ON THE DRAWINGS AND SHALL BE 2-1/2 Ib. DENSITY FIBER-GLASS BATTS CONFORMING TO THE SPECIFICATIONS FOR PRE-FORMED FIBROUS CIASS INSULATION. NAAMM STANDARD SI, 18-70. CLOSED-CELL SPRAY-IN FOAM INSULATION (R-6.5 PER INCH) BY ICYNENE OR APPROVED EQUAL SHALL BE PROVIDED AS INDICATED ON DRAWINGS. 2. NEW INTERIOR DOORS SHALL MATCH EXISTING.

13. NEW HARDWARE SHALL MATCH EXISTING or BE SELECTED AND APPROVED BY OWNER. 14. GYPSUM BOARD SHALL BE EASED EDGE TYPE, CONFORMING TO ASTM C36, AND SHALL BE "SHEETROCK SW" BY U.S. GYPSUM CO. OR APPROVED EQUAL. GYPSUM WALLBOARD THICKNESS SHALL BE 15. ALL NEW AND REPAIRED GYP. BOARD SHALL BE TAPED AND SPACKLED THREE (3) COATS. ALL EXTERIOR CORNERS SHALL HAVE METAL CORNER BEADS.

**FINISHES** I. NEW WOOD FLOORS TO BE SELECTED BY OWNER, SANDED AND POLYURETHANE, 3 COATS.

3. CERAMIC TILE FLOOR SHALL BE SELECTED BY OWNER AND INSTALLED WITH THIN SET 4. EXTERIOR PAINT SHALL BE LATEX ACRYLIC BY BENJAMIN MOORE OR APPROVED EQUAL, APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. COLOR TO BE SELECTED. 5. EXISTING INTERIOR WALLS AND CEILINGS IN ROOMS AFFECTED BY THE WORK SHALL BE CLEANED AND REPAINTED. NEW WALLS AND CEILINGS SHALL BE SEALED AND PAINTED. PAINTING SHALL BE TWO (2) COATS BENJAMIN MOORE LATEX PAINTED, COLOR TO BE SELECTED BY OWNER.

G. INTERIOR TRIM SHALL BE SANDED SMOOTH, PRIMED, AND FINISHED WITH TWO (2) COATS

# BENJAMIN MOORE LATEX ACRYLIC SEMI-GLOSS PAINT

I. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE A HVAC SYSTEM TO HEAT AND COOL THE LIVING SPACES AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND THE 2020 MECHANICAL CODE of NEW YORK STATE, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE

S. EXISTING AIR HANDLERS AND CONDITIONERS TO REMAIN.
 PROVIDE ADDITIONAL AIR-HANDLERS, DUCTWORK, AND CONTROLS AS NECESSARY TO COMPLETE THE WORK FOR AIR CONDITIONING IN ALL ZONES.

## PLUMBING

2. EXISTING BOILER TO REMAIN.

PLUMBING

I. PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE ALL NEW PLUMBING WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS AND THE 2020 PLUMBING CODE of NEW YORK STATE, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK.

2. CONFORM TO THE NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW WITH REGARDS TO WATER SAVING AND CONSERVATION. ALL FIXTURES SHALL BE ON THE APPROVED "LIST OF CERTIFIED WATER, SAVING PLUMBING FIXTURES" AS PUBLISHED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

3. ALL WORK ON THE PLUMBING SYSTEM SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF A PROPERLY LICENSED MASTER PLUMBER. UPON COMPLETION, THE PLUMBER SHALL PROVIDE A SOLDER CERTIFICATE AS REQUIRED BY THE VILLAGE OF PLUMBER SHALL PROVIDE A SOLDER CERTIFICATE AS REQUIRED BY THE VILLAGE OF

4. THE CONTRACTOR SHALL OBTAIN, SUBMIT, AND PAY FOR ALL PERMITS, CERTIFICATIONS, LICENSES AND INSPECTIONS ASS REQUIRED BY LOCAL, STATE, AND FEDERAL AUTHORITIES, AND ANY OTHER APPLICABLE JURISDICTION.

## ELECTRICAL

I. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PLANT, TOOLS, AND SERVICES NECESSARY AND REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF ALL NEW ELECTRICAL SYSTEMS AND RELATED WORK INCLUDING, BUT NOT LIMITED TO: CONNECTIONS TO PREVIOUSLY INSTALLED ELECTRICAL SYSTEMS, WIRING, LIGHTING, SERVICES, FEEDERS, DISTRIBUTION AND PROTECTION EQUIPMENT, CONNECTIONS TO APPLIANCES, GROUNDING, AND ALL INCLUDING ALL CONNECTIONS AND DEVICES WITHIN THE SCOPE OF THE WORK AS SHOWN ON THE APPLICABLE DRAWINGS AND AND SPCIFICATIONS AND AS NORMALLY SPECIFIED IN THIS TYPE OF PROJECT AND INCLUDING CONNECTIONS TO PREVIOUSLY INSTALLED TRANSFORMERS AND

ELECTRICAL DISTRIBUTION SYSTEMS.

2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 BUILDING CODE of NEW YORK STATE, THE NATIONAL ELECTRICAL CODE, NFPA NO, 70-2017 (NEC), LOCAL UTILITY STANDARDS, OCCUPATIONAL SAFETY AND HEALTH CAT (OSHA), THE NATIONAL ELECTRICAL MANUFACTURERS' ASSOCIATION (NEMA) AND ANY OTHER APPLICABLE CODES. IN THE EVENT OF CONFLICT, THE MORE STRINGENT

REQUIREMENTS WILL APPLY.

3. ALL PRODUCTS USED FOR ELECTRICAL WORK SHALL BEAR THE UNDERWRITERS LABORATORIES, INC. LABEL AND BE SUITABLE FOR THE ENVIRONMENT IN WHICH THEY WILL BE INSTALLED.

4. ALL WORK ON THE ELECTRICAL SYSTEM SHALL BE PERFORMED BY OR UNDER THE 4. ALL WORK ON THE ELECTRICAL SYSTEM SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF A PROPERLY LICENSED MASTER ELECTRICIAN.

5. THE CONTRACTOR SHALL OBTAIN, SUBMIT, AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS AS REQUIRED BY THE LOCAL, STATE, AND FEDERAL AUTHORITIES, AND ANY OTHER APPLICABLE JURISDICTION.

6. CARBON MONOXIDE DETECTORS IN CONFORMANCE WITH APPLICABLE CODES SHALL BE CONNECTED TO THE LIGHTING CIRCUITS WITH NO INTERVENING WALL SWITCH. LINE CORD-CONNECTED, DIRECT PLUG-IN, AND BATTERY POWERED ALARMS ARE NOT ACCEPTABLE. ALARMS SHALL BE INSTALLED ON EACH LEVEL ON WHICH SLEEPING QUARTERS ARE LOCATED.
7. SMOKE DETECTORS IN CONFORMANCE WITH THE 2020 BUILDING CODE of NEW YORK STATE, THE NEPA NATIONAL FIRE ALARM CODE NO. 72-1 993 SHALL BE PROVIDED OUTSIDE EACH SEPARATE SLEEPING AREA, IN EACH SPLEEPING AREA, AND

ON EACH FLOOR LEVEL. CONTRACTOR SHALL COORDINATE WITH OWNER'S ALARM COMPANY FOR SMOKE AND BURGLAR ALARMS AS NECESSARY. CLIMATIC AND GEOGRAPHIC CRITERIA

(PER FIG. 1608.2 BCNYS 2020 GROUND SNOW LOAD 20 PSF WIND SPEED (ULTIMATE DESIGN) 130 MPH (PER FIG. 1609.3(1) BCNYS 2020 SEISMIC DESIGN CATAGORY B (PER SECT. 1613 BCNYS 2020 WINTER DESIGN TEMP (PER TABLE N1101.2) (PER FEMA MAP) FLOOD ZONE

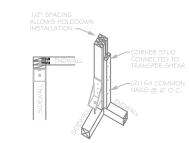
FROST LINE DEPTH WEATHERING PROBABILITY SEVERE (PER BCNYS 2020) DESIGN LOAD CALCULATIONS (UNIFORM LIVE LOADS)

PER TABLE 1607.1 BCNYS 2020 ROOMS OTHER THAN SLEEPING 40 PSI SLEEPING ROOMS ATTICS WITH LIMITED STORAGE 20 PSI ATTICS WITHOUT STORAGE 10 PSI

NAILING SCHEDULE

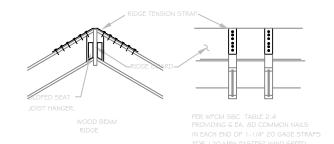
(PER AF ¢ PA AMERICAN WOOD COUNCIL WFCM FOR

PER AF & PA AMERICAN WOOD COUNCIL WFCM FOR INE AND TWO FAMILY DWELLINGS 2015 SBC HIGH WIND E	EDITION)	
JOINT DESCRIPTION NUMBER	OF COMMON NAILS	NAIL SPACING
ROOF FRAMING		
RAFTER TO TOP PLATE (TOE-NAILED) CEILING JOIST TO TOP PLATE (TOE-NAILED) CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED) CEILING JOIST LAPS OVER PARTITION ((FACE-NAILED) RIDGE STRAP (EACH END) BLOCKING TO RAFTER (TOE-NAILED) RIM BOARD TO RAFTER (END-NAILED)	3 3 3 2 2-8d 2-16d	PER RAFTER PER JOIST EACH LAP EACH LAP PER TIE EACH END EACH END
WALL FRAMING TOP PLATE TO TOP PLATE (FACE-NAILED) TOP PLATES AT INTERSECTIONS (FACE-NAILED) STUD TO STUD (FACE-NAILED) HEADER TO HEADER (FACE-NAILED) TOP OR BOTTOM PLATE TO STUD (END-NAILED) BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, END JOIST OR BLOCKING (FACE-NAILED)	2-16d 4-16d 2-16d 16d 2-16d,3-16d,4-16d 2-16d	PER FOOT JOIST EA.SIDE 24"O.C. I 6"O.C.ALONG EDGES PER 2x4,2x6,2x8 RESPECTIVELY PER FOOT
FLOOR FRAMING  JOIST TO SILL, TOP PLATE TO GIRDER (TOE-NAILED)  BRIDGING TO JOIST (TOE-NAILED)  BLOCKING TO JOIST (TOE-NAILED)  BLOCKING TO SILL OR TOP PLATE (FACE-NAILED)  LEDGE STRIP TO BEAM (FACE-NAILED)  JOIST ON LEDGE TO BEAM (TOE-NAILED)  BAND JOIST TO JOIST (END-NAILED)  BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	4-8d 2-8d 2-8d 3-16d 3-16d 3-8d 2-16d 2-16d	PER JOIST EACH END EACH END EACH BLOCK EACH JOIST PER JOIST PER JOIST PER FOOT
ROOF SHEATHING STRUCURAL PANELS DIAGONAL BOARD SHEATHING I "x6" OR I "x8" I "x I O" OR WIDER	8d 2-8d 3-8d	(TABLE 3.8) PER SUPPORT PER SUPPORT
CEILING SHEATHING GYPSUM WALLBOARD	5d coolers	7"EDGE / I O" FIELD
WALL SHEATHING STRUCURAL PANEL FIBERBOARD PANELS 7/I G" 25/32" GYPSUM WALLBOARD HARDBOARD PARTICALBOARD PANELS DIAGONAL BOARD SHEATHING I "xG" OR I "x8" I "x I O" OR WIDER	8d 8d 8d 5d coolers 8d 8d 2-8d 3-8d	(TABLE 3.9)  3"EDGE / 6" FIELD  3"EDGE / 6" FIELD  7"EDGE / 10" FIELD (TABLE 3.9)  (TABLE 3.9)  PER SUPPORT PER SUPPORT
FLOOR SHEATHING STRUCURAL PANELS I" OR LESS GREATER THAN I" DIAGONAL BOARD SHEATHING	8d 10d	G"EDGE / I 2" FIELD G"EDGE / G" FIELD PER GUPPOPT



CORNER HOLDDOWN

1"x6" OR 1"x8" I "x I O" OR WIDER

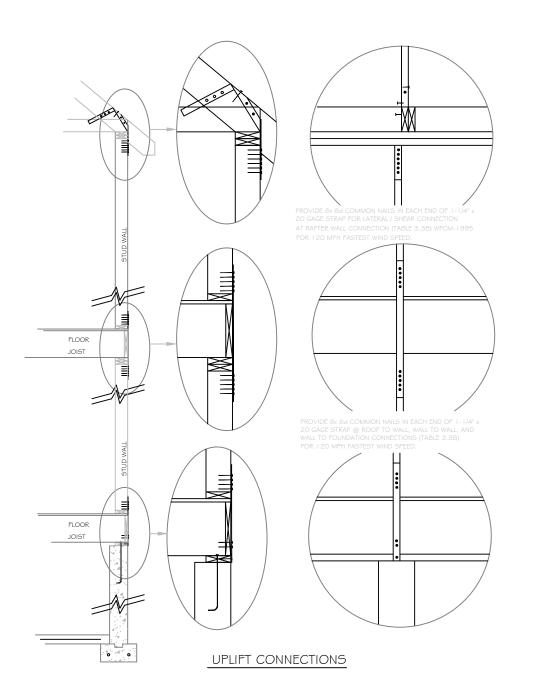


RIDGE CROSS SECTION

END VIEW

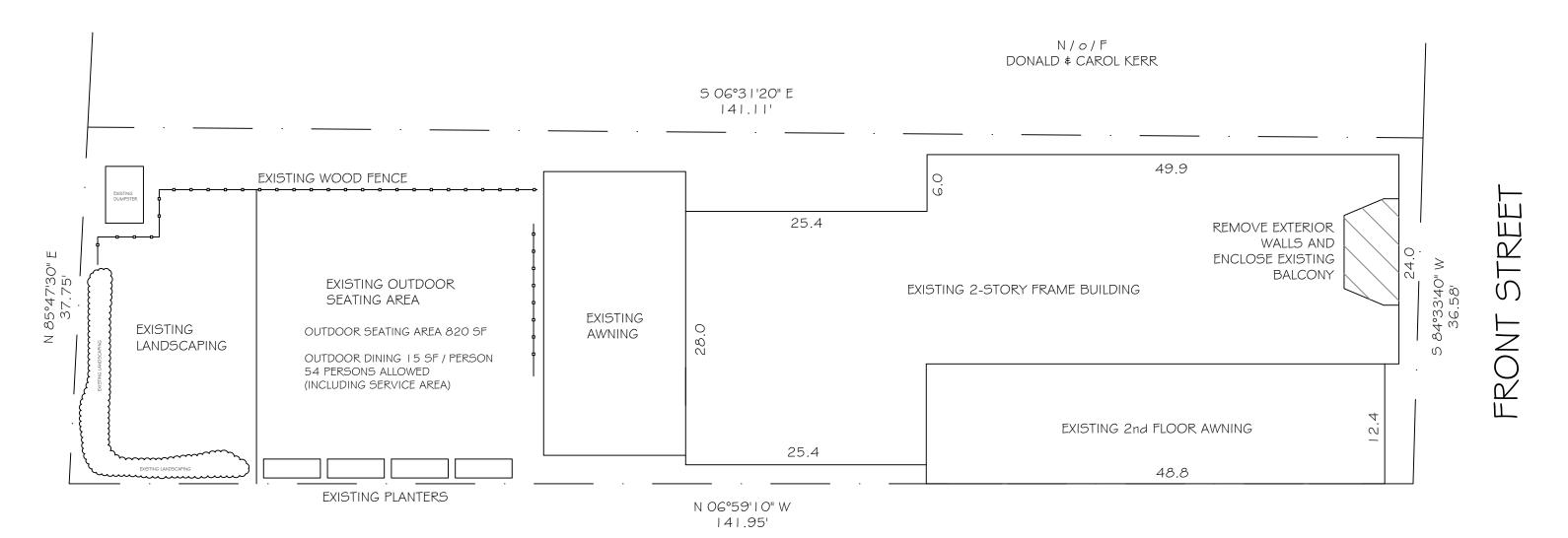
PER SUPPORT

PER SUPPORT



CONNECTIONS DETAIL

FROM TABLE N   102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT											
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATIN SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE \$ DEPTH	CRAWL SPACE WALL R-VALUE	
4	0.35	0.55"	0.40	49	20 OR 13+5	8/13	19	10/13	10, 2FT	10/13	



FIRST STREET



BASED ON SURVEY BY: JOHN C. EHLERS LAND SURVEYOR DATED: 31 MAY, 2018

SCTM: 1001-04-10-32 ZONED: CR AREA: 5,526 SF (0.12 AC)

FLOOD ZONE: AE EL. 6 FT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED

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ISSUES / REVISIONS

## Robert I. Brown Architect, P.C.

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CLIENT / OWNER

GREEN HILL KITCHEN

48 FRONT STREET GREENPORT, NY 11944

PROJECT TITLE RENOVATIONS

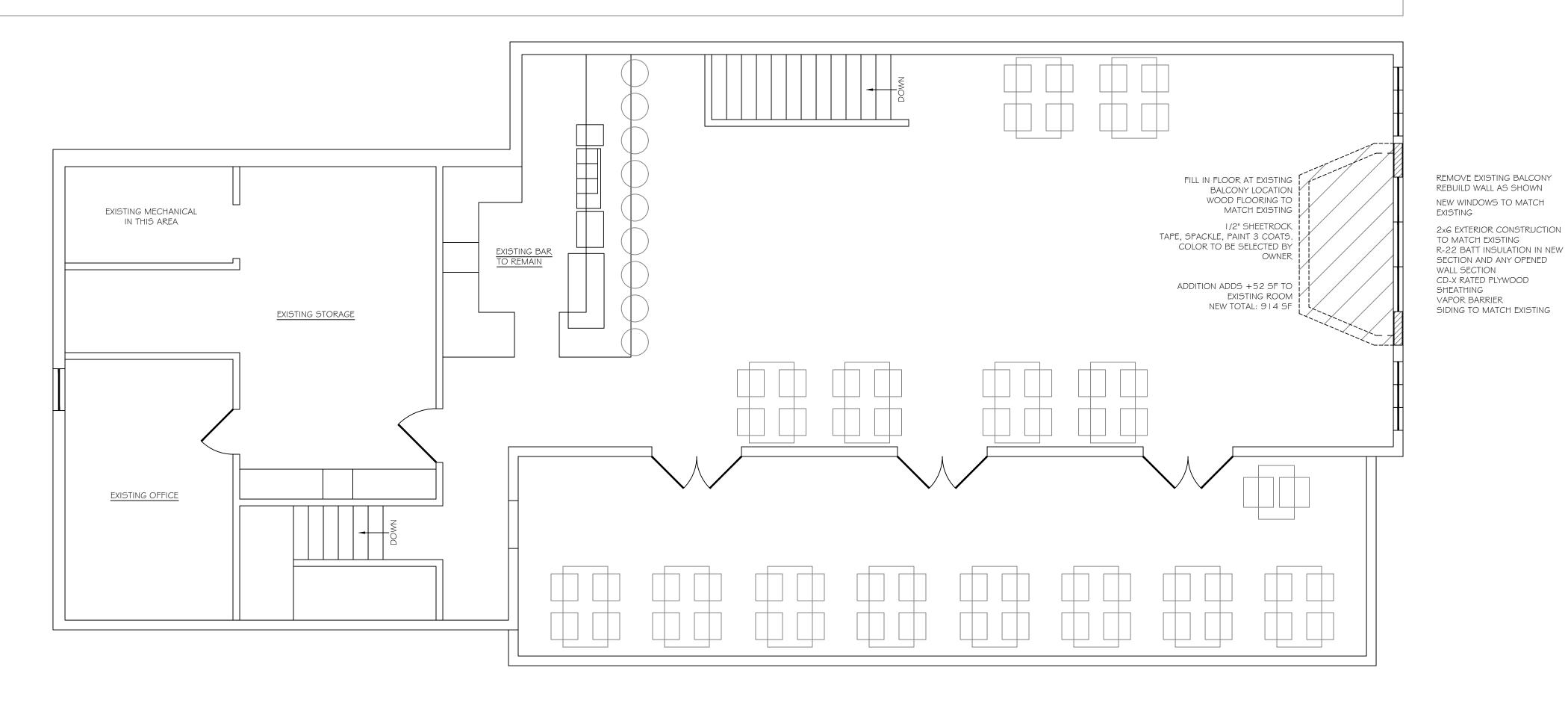
AND ADDITION

DRAWING TITLE

SITE PLAN

16 FEBRUARY, 2022 DRAWING NO.

1'' = 10' - 0''



# SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0" EXISTING EXCEPT AS NOTED



SOUTH ELEVATION (FRONT STREET)

SCALE: 1/4" = 1'-0" EXISTING EXCEPT AS NOTED THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED

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CLIENT / OWNER

# GREEN HILL KITCHEN

48 FRONT STREET GREENPORT, NY 11944

PROJECT TITLE

INTERIOR & EXTERIOR RENOVATIONS

DRAWING TITLE

SECOND FLOOR PLAN ELEVATION

16 FEBRUARY, 2022

DRAWING NO.

SCALE 1/4" = 1'-0"

**A2**