



# ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944  
(631) 477-0248  
[www.villageofgreenport.org](http://www.villageofgreenport.org)

Date of Application 12/15/2020

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.

### THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

JENNIFER ? JAMES KENNEDY  
First Name Last Name Business Name, if applicable

[REDACTED] [REDACTED] [REDACTED] [REDACTED]  
Mailing Address City/ Town/ Village State Zip

[REDACTED] [REDACTED]  
Phone # E-Mail Address

### CONTACT PERSON (if different from owner) The person to receive all correspondence:

JENNIFER KENNEDY  
First Name Last Name Business Name, if applicable

[REDACTED] [REDACTED] [REDACTED] [REDACTED]  
Mailing Address City/ Town/ Village State Zip

[REDACTED] [REDACTED]  
Phone # E-Mail Address

**IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.**

### Location:

Suffolk County Tax Map Number: 1001 Section: 6 Block: 3 Lot 5

Street Address: 429 6<sup>th</sup> STREET Greenport, New York, 11944

Zoning District:  WC  R1  R2  PD  CR  CG  
Is property located within the Historic District?  Yes  No

DEC 29 2020

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**ZONING BOARD OF APPEALS APPLICATION**  
**AREA VARIANCE**

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The Code Official reviewed and denied an application dated 12/4/2020 for a Building Permit for the location specified on this application.

**Provisions of the Zoning Code appealed:**  
(Indicate Article, Section and Subsection of Zoning Code by numbers)

Article: SIDE YARD SETBACK REQUIREMENT Section: 150 - 12 Subsection: \_\_\_\_\_

**Type of appeal made for:**

A Variance to the Zoning Code or Zoning Map.  
 An interpretation of the Village Code Article: \_\_\_\_\_ Section: \_\_\_\_\_ Subsection: \_\_\_\_\_

Has a prior appeal been made at any time with respect to this property?  Yes  No  Don't Know  
If yes, please provide the date appeal was made: \_\_\_\_\_

**Project Description:** FULL INTERIOR ALTERATIONS TO EXISTING RESIDENCE. FIRST AND SECOND FLOOR RENOVATION/ADDITION TO REAR OF HOUSE.

**For Demolition of Existing Building Areas:**

Please describe area being removed:

REDUCTION OF FRONT COVERED PORCH - CONVERSION TO MUDROOM  
INTERIOR OF HOME CURRENTLY HAS NO INTERIOR FINISHES (FULLY GUTTED)

**New Construction Areas (New Dwelling or New Addition/Extensions)**

Dimensions of First Floor (Addition/Extension): 51'-2" x 25'-11/4" IRREGULAR

Dimensions of Second Floor: 51'-2" x 22'-0 1/2" IRREGULAR

Height (from finished grade to top of ridge): 24 - Feet, 1 1/2 - Inches

Is basement or lowest floor area being constructed?  Yes  No PARTIAL

If yes, please provide height (above ground) measured from natural existing grade to first floor:

1 - Feet, 6 - Inches.

DEC 29 2020





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**Project Description: (CONTINUED)**

**Proposed Construction Description: (Alteration or Structural Changes)**

Number of floors BEFORE alterations: 2

Describe General Characteristics BEFORE alterations:

CURRENT DWELING HAS NO INTERIOR FINISHES - FULLY GUTTED

Number of floors AFTER Alterations: 2

Describe General Characteristics AFTER alterations:

THE HOME WILL BE A RESTORED 1928 FARM HOUSE THAT IS IN-KEEPING WITH THE OTHER HOMES IN THE "PIPES CORNER" NEIGHBORHOOD.

**Calculations of Building Areas and Lot Coverage:**

Existing Square Footage of Building(s) on this property: 

HOUSE	1,850.5	TOTAL = 2,284.2
GARAGE	433.7	SF

Proposed Increase in Building Coverage: 134.3 SF

Square Footage of this Lot: 14,088 SF

Percentage of Coverage of this Lot by Building Area: 12.7 %

**Purpose of New Construction:**

Please describe: THE NEW CONSTRUCTION IS REQUIRED DUE TO THE FACT THAT THE HOUSE IS CURRENTLY "GUTTED" AND HAS NO UTILITIES. THE PURPOSE IS TO RESTORE THE HOME TO THE FARM HOUSE STYLE THAT IT WAS ORIGINALLY BUILT TO WITH UPDATED AMENITIES.

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**Area Variance Reasons for Appeal:**

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

**Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?**

No. CURRENTLY THE HOME IS GOTTED AND UNOCCUPIED. THE HOME HAS BEEN THIS WAY FOR MANY YEARS. THE IMPROVEMENTS THAT WE PLAN TO MAKE ARE IN-KEEPING WITH THE CHARACTER OF THE NEIGHBORHOOD.

**Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?**

No OTHER METHOD IS AVAILABLE.

**Is the requested Area Variance substantial?**

THE VARIANCE IS VERY MINOR AND WILL BE MOSTLY UNDETECTABLE SINCE THE CHARACTER OF THE HOUSE IS NOT BEING ALTERED.

**Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?**

No. THE WORK ON THE HOME WILL BE DONE IN SUCH A WAY THAT IT WILL BE A RESTORATION PROJECT AND IT WILL BRING IT BACK TO ITS ORIGINAL USE AND STYLE.

**Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?**

THE WORK THAT IS REQUIRED TO BRING THE REAR SECTION OF THE HOUSE INTO COMPLIANCE WITH CURRENT CODES IS WHAT HAS MOVED THE RENOVATION IN THE DIRECTION OF NEEDING A VARIANCE.

**Are there Covenants or Restrictions concerning this land?**  Yes  No

*If yes, please furnish copies.*

BUILDING DEPARTMENT DEC 29 2020  
FILE COPY

# AFFIDAVIT

Village of Greenport )  
Town of Southold )  
County of Suffolk ) ss  
State of New York )

I swear that to the best of my knowledge and belief that the statements contained in this application, together with the plans and specifications submitted, are true and complete statements of proposed work to be done on the described premises and that all provisions of the Building Code, Zoning Code, and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work and inspections are authorized by the owner. The Village of Greenport is hereby granted permission to enter the property listed as the "Location" for the purposes of inspecting my property for a site visit. I understand that if approved, this Area Variance will be granted and accepted on condition that the provisions of Federal, State and Local rules and regulations, and any additional requirements of the Area Variance are complied with. Any violation of all applicable codes, or deviations from the approved plans may result in the immediate revocation of this Area Variance & legal action taken against me. No responsibility rests upon the Village of Greenport, Code Enforcement, the Fire Marshal or the Fire Department by reason of this application and permit.

Sworn to be before this 15<sup>TH</sup> day  
of December 20 20

Signature



Owner or Applicant

  
Notary Public, Suffolk County, New York

DEAN G. STRACUZZA  
Notary Public, State of New York  
No. 01ST6014700  
Qualified in Suffolk County  
Commission Expires October 19, 2022

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FILE COPY



617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: <span style="font-size: 1.2em; font-family: cursive;">KENNEDY RESIDENCE</span>							
Project Location (describe, and attach a location map): <span style="font-size: 1.2em; font-family: cursive;">429 6<sup>TH</sup> STREET, GREENPORT NY 11944</span>							
Brief Description of Proposed Action: <span style="font-size: 1.2em; font-family: cursive;">FULL INTERIOR ALTERATIONS TO EXISTING RESIDENCE + FIRST FLOOR Addition + SECOND FLOOR Addition</span>							
Name of Applicant or Sponsor: <span style="font-size: 1.2em; font-family: cursive;">JENNIFER KENNEDY</span>		Telephone: [REDACTED]					
Address: [REDACTED]		E-Mail: [REDACTED]					
City/PO: [REDACTED]		State: [REDACTED]	Zip Code: [REDACTED]				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		<span style="font-size: 1.2em; font-family: cursive;">.32</span> acres					
b. Total acreage to be physically disturbed?		<span style="font-size: 1.2em; font-family: cursive;">.097</span> acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<span style="font-size: 1.2em; font-family: cursive;">.32</span> acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?			
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES			

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>JENNIFER KENNEDY</u> Date: <u>12-19-2020</u>		
Signature: <u>Jennifer Kennedy</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>



	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**

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 FILE COPY  
 DEC 29 2020



Village of Greenport Building Department  
236 Third Street, Greenport, New York 11944  
OFFICE: 631.477.0248 / FAX: 631.477.1877

NOTICE OF DISAPPROVAL

Date: December 4, 2020

To: Jennifer Kennedy  
[REDACTED]

PLEASE TAKE NOTICE that your application dated November 23, 2020 to add a second story addition to your property located at 429 Sixth Street, in the R-2 District, is returned herewith and disapproved on the following grounds:

1. Setback requirements.

**150-12**

Side Yard Setback Requirement: 10-Feet.

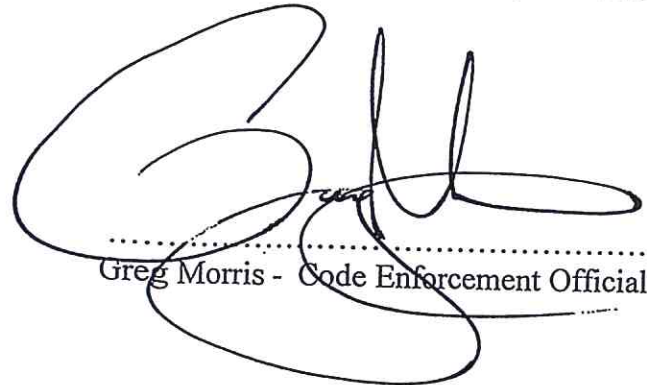
The plans show a proposed 2<sup>nd</sup> floor addition. The current setback of the proposed addition shows 2-feet, 6-inches on the south side of the property. The minimum side yard setback is 10-feet. This would require an area variance of 7-feet, 6-inches.

**This application is therefore denied, requiring the above-mentioned area variance.**

The premise to which this application applies to is located at:  
429 Sixth Street, Greenport, New York 11944.

This property is located in the R-2 District.

Map: 1001 Section: 6 Block: 3 Lot: 5

  
.....  
Greg Morris - Code Enforcement Official

12/04/2020

.....  
Date

BUILDING DEPARTMENT  
GREENPORT, NY





SUFFOLK COUNTY CLERK  
RECORDS OFFICE  
RECORDING PAGE

Type of Instrument: DEED  
Number of Pages: 4  
Receipt Number: 20-0102105 \*ELECTRONICALLY RECORDED\*  
Transfer Tax Number: 19-33745

Recorded: 7/14/2020  
At: 8:04:21 PM

LIBER: D00013064  
PAGE: 120

District: 1001  
Section: 006.00  
Block: 03.00  
Lot: 005.000

EXAMINED AND CHARGED AS FOLLOWS

Deed Amount \$420,000.00

Received the Following Fees For Above Instrument

	Exempt		Exempt
Page/Filing	\$20.00 NO	Handling	\$20.00 NO
COE	\$5.00 NO	NYS SRCHG	\$15.00 NO
Notation	\$0.00 NO	Cert.Copies	\$0.00 NO
RPT	\$200.00 NO	Mansion Tax	\$0.00 NO
EA-CTY	\$5.00 NO	EA-STATE	\$125.00 NO
TP-584	\$5.00 NO	Comm.Pres	\$5,400.00 NO
Transfer Tax	\$0.00 NO		
Transfer Tax Number: 19-33745		Fees Paid	\$5,795.00

THIS PAGE IS A PART OF THE INSTRUMENT  
THIS IS NOT A BILL

Judith A. Pascale  
County Clerk, Suffolk County

DEC 29 2020

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Number of pages **4**

This document will be public record. Please remove all Social Security Numbers prior to recording.

RECORDED  
7/14/2020 8:04:24 PM  
JUDITH A. PASCALE  
CLERK OF  
SUFFOLK COUNTY  
L D00013064  
P 120  
19-33745

Deed / Mortgage Instrument	Deed / Mortgage Tax Stamp	Recording / Filing Stamps
----------------------------	---------------------------	---------------------------

<b>3</b>		<b>FEES</b>	
Page / Filing Fee	20.00	Mortgage Amt.	_____
Handling	20.00	1. Basic Tax	_____
TP-584	5.00	2. Additional Tax	_____
Notation	0.00	Sub Total	_____
EA-52 17 (County)	5.00	Spec./Assit.	_____
		or	_____
		Spec./Add.	_____
EA-5217 (State)	125.00	TOT. MTG. TAX	_____
R.P.T.S.A.	200.00	Dual Town _____ Dual County _____	
Comm. of Ed.	5.00	Held for Appointment	_____
Affidavit	_____	Transfer Tax	0.00
Certified Copy	0.00	Mansion Tax	0.00
NYS Surcharge	15.00	The property covered by this mortgage is or will be improved by a one or two family dwelling only.	
Other	_____	YES _____ or NO _____	
		If NO, see appropriate tax clause on page # _____ of this instrument.	
	Sub Total	50.00	
	Sub Total	345.00	
	Grand Total	395.00	



4	Dist.	Section	Block	Lot	5	Community Preservation Fund
---	-------	---------	-------	-----	---	-----------------------------

Real Property Tax Service Agency Verification	20023596 1001-006.00-03.00-005.000	Consideration Amount \$420,000.00
		CPF Tax Due \$ 5,400.00

6	Satisfactions/Discharges/Releases List Property Owners Mailing Address RECORD & RETURN TO: <b>Venture Title Agency</b> <b>501 West Main St.</b> <b>Patchogue NY 11772</b>	Improved <input checked="" type="checkbox"/>
		Vacant Land _____
		TD 10 _____
		TD _____
		TD _____

Mail to: Judith A. Pascale, Suffolk County Clerk 310 Center Drive, Riverhead, NY 11901 www.suffolkcountyny.gov/clerk	7	Title Company Information
	Co. Name	_____
	Title #	_____

**8 Suffolk County Recording & Endorsement Page**

This page forms part of the attached **DEED** made by: \_\_\_\_\_  
(SPECIFY TYPE OF INSTRUMENT)

The premises herein is situated in \_\_\_\_\_  
SUFFOLK COUNTY, NEW YORK.

TO \_\_\_\_\_

In the TOWN of **SOUTHOLD**

In the VILLAGE \_\_\_\_\_

or HAMLET of \_\_\_\_\_

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DEC 29 2020



**Schedule A Description**

Title Number VA-17643-S

Page 1

ALL that certain plot, piece or parcel of land, situate, lying and being in the Village of Greenport, Town of Southold, County of Suffolk and State of New York, known as and by Lot 163 on a certain map entitled "Wiggins Estate" and filed in the Office of the Clerk of Suffolk County in 1853 as File #534, said lot being bounded and described as follows:

BEGINNING at a railroad monument on the westerly side of 6th Street at the southeasterly corner of premises herein described and the northerly line of the Long Island Railroad;

RUNNING THENCE South 84 degrees 11 minutes 40 seconds West along said northerly line of the Long Island Railroad, 176.09 feet;

THENCE North 07 degrees 08 minutes 50 seconds East, 101.71 feet;

THENCE South 82 degrees 56 minutes 00 seconds East, 171.61 feet to the westerly side of 6th Street;

THENCE South 07 degrees 08 minutes 50 seconds West along said westerly side of 6th Street, 62.48 feet to the point or place of BEGINNING.

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DEC 29 2020

State of New York, County of NY, ss:

State of New York, County of \_\_\_\_\_, ss:

On the 4 day of JUNE in the year 2020, before me, the undersigned, personally appeared Andreas P. Pomeroy personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

On the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_, before me, the undersigned, personally appeared \_\_\_\_\_, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Sam C. Lurie  
NOTARY PUBLIC

\_\_\_\_\_  
NOTARY PUBLIC

Susan C. Levine  
Notary Public State of New York  
No. 02LE4716267  
Qualified in New York  
Commission Expires Oct. 31, 2022

SUSAN C. LEVINE  
NEW YORK - NEW YORK  
#02LE4716267  
10-31-22

**ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS  
TAKEN IN NEW YORK STATE**

**ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK  
STATE**

State of New York, County of \_\_\_\_\_, ss:

State of \_\_\_\_\_, County of \_\_\_\_\_, ss:

On the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_, before me, the undersigned, a Notary Public in and for said State, personally appeared \_\_\_\_\_, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in \_\_\_\_\_ (if the place of residence is in a city, include the street and street number if any, thereof); that he/she/they know(s) \_\_\_\_\_ to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said \_\_\_\_\_ execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.

On the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_, before me, the undersigned personally appeared \_\_\_\_\_ personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the \_\_\_\_\_ (add the city or political subdivision and the state or country or other place the acknowledgement was taken).

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
NOTARY PUBLIC

**Bargain & Sale Deed  
With Covenant**

COUNTY: Suffolk

TOWN/CITY: Southold

PROPERTY ADDRESS: 429 Sixth Street,  
Greenport

DISTRICT: 1001

SECTION: 006.00

BLOCK: 03.00

LOT: 005.000

6<sup>TH</sup> STREET LLC

TO

JENNIFER KENNEDY

AND

JAMES KENNEDY

BUILDING DEPARTMENT  
FILE COPY

DEC 29 2020

RETURN BY MAIL TO:



17643

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT — THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 10 day of June in the year 2020

BETWEEN 6<sup>th</sup> Street LLC, c/o Andreas Pfanner, 115 Sutton Street, Brooklyn, New York 11222 ✓

party of the first part, and Jennifer Kennedy and James Kennedy, Joint Tenants with Right of Survivorship, 293 Fourth Avenue, St. James, New York 11780 ✓

party of the second part,

WITNESSETH, that the party of the first part, in consideration of

Ten (\$10.00) dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

SEE SCHEDULE A ATTACHED HERETO AND MADE A PART HEREOF

Said Premises being and intended to be the same premises conveyed to Grantor by Deed from Enrique Alvarez dated 01/08/2016 recorded 02/05/2016 in Liber 12851 Page 669

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises in the center lines thereof TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatsoever except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF

BUILDING DEPARTMENT DEC 29 2020  
FILED



December 19, 2020

**Zoning Board Committee**  
Greenport, NY 11944

**To the Zoning Board Committee Members,**

I am writing on behalf of my neighbors, James and Jennifer Kennedy. They have spoken to me about their plans to renovate the "gutted" home they recently purchased and their desire to build a second-floor addition off the back of their house.

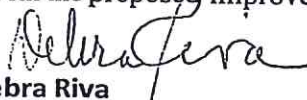
My house is located at 433 6<sup>th</sup> Street and is adjacent to their home and immediately to the north.

I am aware of their design plan and desire to build on top of the existing rear, one-story section of the home. I understand that the existing one-story room built under the outdated codes would not be allowed due to the existing, and low roof line of that rear section of the home. Since they will need to modify both the below grade (foundation) and the above grade construction of this section I can understand their desire to make improvements by adding a second story as part of their construction.

I am aware that a variance approval would need to be granted by the Zoning Board Committee to allow for this to take place, and I am therefore writing to support this work.

James and Jennifer have been my neighbors as they have owned the home directly behind me that shares the rear property line of my home. They have been advocates of careful changes that have been made to other homes and properties in our immediate neighborhood and I agree with their planned changes. It is in-keeping with the character of the neighborhood. It is also worth mentioning that this home has been vacant and essentially abandoned for a number of years and I welcome the fact that they will be renovating and living in the home.

In summary, I am in support of the Kennedy's request for a variance and have no issue with the proposed improvements that they are planning to make.

  
Debra Riva

Debra Riva

DEC 29 2020  
BUILDING DEPARTMENT  
NY



**ARCHITECTURAL**

THE DUTIES OF THE ENGINEER AND HIS EMPLOYEES OR AGENTS SHALL TERMINATE WITH THE COMPLETION AND DELIVERY OF WORKING DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR SUPERVISION OF CONSTRUCTION, NOR DOES THE ENGINEER HAVE AUTHORITY TO ACT ON BEHALF OF THE OWNER OR THE CONTRACTOR UNLESS NOTED OTHERWISE IN WRITING.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OF OMISSIONS OF THE CONTRACTOR OR ANY SUB-CONTRACTOR OR ANY OF THE CONTRACTORS OR SUB-CONTRACTORS EMPLOYEES OR AGENTS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR THE SAFETY OF THE JOB SITE, AND THAT THESE RESPONSIBILITIES ARE INTENDED TO BE AND TO REMAIN THE SOLE RESPONSIBILITIES OF THE CONTRACTOR(S).

BY ACCEPTANCE OF THESE DRAWINGS, THE OWNER AGREES TO ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE OR SETTLEMENT OF ADJACENT, ETC. OF NEW CONSTRUCTION AND WILL HOLD THE ENGINEER RESPONSIBLE FOR THIS RESPONSIBILITY.

THESE ARCHITECTURAL DOCUMENTS ARE THE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS COMPLETED OR NOT. THEY ARE NOT TO BE USED ON ANY OTHER PROJECT EXCEPT BY WRITTEN AUTHORITY OF THE ENGINEER.

ALL SURVEYS, TEST BORINGS, ENGINEERING REPORTS, OR OTHER SIMILAR STUDIES REQUIRED FOR THE PREPARATION OF THESE CONSTRUCTION DOCUMENTS AND/OR ARE REQUIRED DURING THE SUBSEQUENT CONSTRUCTION PHASE OF THE PROJECT SHALL BE PROVIDED BY THE OWNER.

**GENERAL**

THE ENGINEER SHALL ASSIST THE OWNER IN OBTAINING ALL LOCAL BUILDING DEPARTMENT APPROVALS FOR THE CONSTRUCTION DOCUMENTS OF THIS PROJECT. ALL FEES RELATED TO THIS APPROVAL PROCESS SHALL BE PAID FOR BY THE OWNER. UPON RECEIVING APPROVAL OF SAID DOCUMENTS, THE GENERAL CONTRACTOR IS NOW RESPONSIBLE FOR TAKING OUT AND PAYING RELATED FEES FOR THE BUILDING PERMIT AND ALL FOLLOWING PERMITS UNTIL THE "CERTIFICATE OF OCCUPANCY" IS SECURED.

CONTRACTOR(S) SHALL PERFORM ALL WORK IN CONFORMANCE WITH ALL APPLICABLE CODES, CODE AMENDMENTS, STANDARDS, ORDINANCES, RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- LOCAL BUILDING DEPARTMENT REGULATIONS
- 2018 INTERNATIONAL RESIDENTIAL CODE
- INTERNATIONAL ENERGY CONSERVATION CODE

CONTRACTOR SHALL CONFORM WITH THE INTERNATIONAL RESIDENTIAL CODE SAFETY OF PUBLIC AND PRIVATE PROPERTY DURING CONSTRUCTION OPERATIONS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS AND FAMILIARIZE THEMSELVES WITH THE INTENT OF THE DRAWINGS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS MUST BE REPORTED TO THE ENGINEER OR OWNER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THEIR WORK THE EFFECT OF ALL EXISTING CONDITIONS.

**SITE WORK**

THE CONTRACTOR SHALL STAKE AND LAY OUT ALL WORK AS SHOWN ON DRAWINGS AND VERIFY ALL GIVEN DATA PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL ADDRESS OTHERWISE DIRECTED BY OWNER INCLUDE IN HIS PERMITS WORK THE REMOVAL OF ALL TREES AND TREES WITHIN THE AREA OF WORK, AND TRANSPORTING OF SAME TO LOCATIONS AS DIRECTED BY THE OWNER.

THE CONTRACTOR SHALL EXERCISE GOOD JUDGMENT IN NAVIGATING DAMAGE TO EXISTING AREAS (INCLUDING LANDS AND SHIPMENTS).

ALL EXISTING SURFACES DAMAGED OR DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION. WORK MAY INCLUDE NEW DIRT FILL, TOPSOIL AND RE SEEDING WITH FERTILIZER TO MATCH EXISTING CONDITIONS.

**DEMOLITION**

REFER TO CONSTRUCTION DOCUMENTS FOR SPECIFIC DEMOLITION LOCATIONS AND NOTES.

WHERE EXISTING WALLS ARE SHOWN TO BE REMOVED AND/OR NEW OPENINGS ARE CALLED FOR IN EXISTING WALLS, THE CONTRACTOR SHALL BRACE/SUPPORT ROOF, CEILING AND/OR WALLS PRIOR TO REMOVAL OF EXISTING WALLS, CEILING JOISTS AND/OR ROOF PARTS AND TO MAINTAIN SUITABLE CONDITIONS UNTIL NEW MEMBERS, BEAMS OR WALLS ARE INSTALLED AS SPECIFIED.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE PROJECT AT ALL TIMES.

ANY CONTRACTORS RELATED TO THE DRAWINGS WITH THE ACTUAL STRUCTURAL CONDITIONS THAT BEST SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT WITH SAID WORK.

**FOUNDATIONS AND FOOTINGS**

PRIOR TO EXCAVATING THE GENERAL CONTRACTOR IS TO LOCATE ALL UNDERGROUND UTILITIES (GAS, WATER, CABLE, SEWER, ETC.) AND NOTIFY OWNER OF ANY CONFLICTS WITH PROPOSED WORK.

FOUNDATIONS AND FOOTINGS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE INTERNATIONAL RESIDENTIAL CODE (2018), CHAPTER 4 INCLUDING, BUT NOT LIMITED TO REINFORCING, ETC. UNLESS OTHERWISE NOTED.

FOOTINGS SHALL BEAR ON ACCEPTABLE UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF TWO THOUSAND POUNDS PER SQUARE FOOT (2000 PSF) AND SHALL EXTEND 3" MIN. BELOW FINISHED GRADE.

EXCAVATE AND BACK FILL IN A MANNER AND SEQUENCE THAT WILL PROVIDE PROPER DRAINAGE AT ALL TIMES.

HAND TRIM FOUNDATION EXCAVATIONS TO FINAL GRADE JUST BEFORE CONCRETE IS PLACED AND COMPACTED WITH A HAND OPERATED PLATE TYPE COMPACTOR.

FILL MATERIAL TO BE ACCEPTABLE SAND, GRAVEL, OR COMBINATION OF BOTH WHICH MAY CONTAIN SMALL AMOUNTS OF STONES OR PEBBLES OVER ONE INCH IN LARGEST DIMENSION, BUT NONE OVER TWO INCHES, AND NOT CONTAIN CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, AND FROZEN MATERIAL.

MOISTURE/COHESION FILL MATERIAL BY AVOIDING OR WATERING AND THOROUGHLY MIXING MATERIAL TO OBTAIN OPTIMUM MOISTURE CONTENT PERMITTING PROPER COMPACTION.

SPREAD ACCEPTABLE FILL MATERIAL UNIFORMLY IN LAYERS NOT GREATER THAN EIGHT INCHES OF LOOSE THICKNESS OVER ENTIRE FILL AREA.

USE HAND TAMMERS OR VIBRATING COMPACTORS AT FOUNDATION WALLS, RETAINING WALLS OR SIMILAR LOCATIONS. DO NOT USE LARGE ROLLING EQUIPMENT ADJACENT TO FOUNDATION AND RETAINING WALLS.

DO NOT BACK FILL AND COMPACT AGAINST FOUNDATION AND RETAINING WALLS UNTIL CONCRETE HAS REACHED DESIGN STRENGTH AND WALLS ARE PROPERLY DRAINED BY ADJACENT CONSTRUCTION OR TEMPORARY MEANS ACCEPTABLE AND APPROVED BY THE ENGINEER.

CONTRACT SUB GRANTS WITH A VIBRATORY ROLLER.

SOIL COMPACTIONS AND DENSITIES SHALL COMPLY WITH THE REQUIREMENTS OF 2018 I.R.C. COMPACT LAYER SLABS, FOUNDATIONS, AND FOOTINGS AT ONE HUNDRED PERCENT OF MAXIMUM DENSITY. CONTACT BACK FILL AT WALLS, EMBANKMENTS, AND UNDER PAVED AREAS AT NINETY PERCENT OF MAXIMUM DENSITY.

**STRUCTURAL STEEL**

STRUCTURAL STEEL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE INTERNATIONAL BUILDING CODE CHAPTER 22, UNLESS OTHERWISE NOTED.

ALL STRUCTURAL STEEL SHALL BE ASTM A588 AND CONFORM TO THE RECOMMENDATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION INC. STEEL TUBES SHALL BE ASTM A500 GRADE B.

ALL CONNECTIONS SHALL BE MADE WITH 3/4" DIAMETER COMMON BOLTS OR WELDS BY A QUALIFIED WELDER USING E-70XX ELECTRODES.

ANCHOR BOLT COLLARS TO FOUNDATIONS WITH TWO 3/4" DIAMETER BOLTS (MINIMUM 1-4" MINIMUM INTO CONCRETE). USE STEEL SHIMS AND NON-SINKING GROUT TO ADJUST HEIGHT.

**REINFORCED CONCRETE**

CONCRETE SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE INTERNATIONAL RESIDENTIAL CODE (2018), CHAPTER 4, UNLESS OTHERWISE NOTED.

ALL CONCRETE WORK SHALL CONFORM TO APPLICABLE RECOMMENDATIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI).

ALL CONCRETE SHALL BE STONE CONCRETE (34" COARSE AGGREGATE HAVING A MINIMUM STRENGTH OF 3000 PSI AT TWENTY EIGHT DAYS EXCEPT SLABS ON GRADE WHICH SHALL HAVE A MINIMUM STRENGTH OF 4000 PSI AT TWENTY-THREE DAYS.

REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 FOR GRADE 60, BE CONTINUOUS AND HAVE MINIMUM LAPS OF FORTY DIAMETERS.

WELDED WIRE FABRIC (W/F) SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615, PLAT SHEETS ONLY.

**REINFORCED CONCRETE (CONT.)**

CONCRETE IN FOUNDATIONS AND SLABS EXPOSED TO WEATHER AFTER COMPLETION OF THE PROJECT SHALL CONTAIN FIVE PERCENT (5%) BY VOLUME OF DRY WEIGHT AIR ENTRAINMENT.

SLABS SHALL BE FOUR INCHES AND ALL CONCRETE SHALL BE CONSOLIDATED BY ADEQUATE VIBRATORS. KEEP CONCRETE SURFACES NOT COVERED BY FORMS PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN SEVEN DAYS.

SLABS ON GRADE SHALL BE PLACED IN SECTIONS NOT EXCEEDING NINE HUNDRED SQUARE FEET WITH THIRTY FOOT MAXIMUM SIZE LENGTH. ALL CONCRETE SLABS SHALL HAVE STEEL TROWEL-FINISH UNLESS OTHERWISE NOTED, AND SHALL BE REINFORCED WITH EN-10110 W/F WHICH LOCATED ONE INCH FROM THE TOP SURFACE.

NEW FORMS SHALL BE USED FOR ALL FOUNDATION WALLS.

**TIMBER FRAMING**

TIMBER FRAMING SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE 2018 INTERNATIONAL RESIDENTIAL CODE, CHAPTER 5 FLOORING, CHAPTER 6 WALL CONSTRUCTION, CHAPTER 8 ROOF & CEILING CONSTRUCTION, UNLESS OTHERWISE NOTED.

FRAMING LAMBER SHALL BE SQUARE EDGE, STRAIGHT, SOUND, WELL-SEASONED, MAXIMUM MOISTURE CONTENT OF NINETEEN (19) PERCENT AT TIME OF INSTALLATION. LAMBER SHALL BEAR THE GRADE AND TRADEMARKS OF THE ASSOCIATION BY WHICH RULES IT IS PRODUCED. SIZES INDICATED ARE NOMINAL, STANDARD SIZES.

FRAMING LAMBER SHALL BE DRYNESS RATED PER NFPA 2 WITH A DRYNESS RATING OF 275 AND 550 PSI RESPECTIVELY FOR SCHEDULING FOR SINGLE MEMBER USE AND 95 AND 75 PSI FOR 5/8" X 4". PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS OVER 6'-0" IN LENGTH.

PROVIDE SOLID BRACING BETWEEN JOISTS AT 6'-0" O.C. MAXIMUM.

UNLESS OTHERWISE NOTED, ALL WINDOW AND DOOR OPENINGS SHALL HAVE 2'-X12" WITH 1/2" PLYWOOD BETWEEN HEADERS ABOVE.

ALL SILL PLATES IN CONTACT WITH FOUNDATION WALLS TO BE PRESSURE TREATED AND HAVE CONTINUOUS CORNER TREATMENT SHIELDS. SILL PLATES SHALL BE BOLTED TO FOUNDATION WALLS - SEE ANCHOR BOLT DETAIL.

BOLTS MUST BE EMBEDDED A MINIMUM OF 7" INTO FOUNDATION WALLS. FORCE NORMAL INTO THE JOIST BETWEEN SILL BOTTOM AND TOP OF FOUNDATION.

ALL SUBFLOORING, WALL AND ROOF SHEATHING SHALL BE EXTERIOR GRADE PLYWOOD. SUBFLOORING 3/4", WALL SHEATHING 1/2", ROOF SHEATHING 5/8".

ALL BUILT UP WOOD DECKS AND DECKERS SHALL NOT HAVE ANY SPILL ON THE WIDE FACE OF ANY MEMBER GREATER THAN 1/2 TIMES THE WIDE FACE.

ALL EXPOSED WOOD FOR SCIMITS, OVERHANGS, ETC. SHALL BE APPROVED EXTERIOR GRADE. (PAINTED ALL SIDES AND ENDS)

ALL TRUSS CONNECTIONS SHALL BE MADE WITH JOIST HANGERS, FRAMING ANCHORS, OR PANTER ANCHORS OF MINIMUM 1/8" GAUGE PINK GALVANIZED STEEL AS MANUFACTURED BY TECO OR SIMPSON.

ALL TRUSS CONNECTIONS ACCORDANT WITH ACD PRESSURE TREATED LUMBER FOR EXTERIOR FRAMING. SHALL BE FINISHED AS PER MANUFACTURER'S RECOMMENDED FASTENER LEAD 304 OR 316 STAINLESS STEEL CONNECTIONS AND FASTENERS.

ALL STRUCTURAL CONNECTIONS SHALL BE MANUFACTURED BY TRUSS-AD, CORP. 7-D BOX CO. 2005 DAVIS AVENUE OR APPROVED EQUAL, AVAILABLE AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS. MEMORANDA (M.A.) TO BE C-1.3 AND PARAGRAPHS (P.) TO BE C-1.2.

WALING TO CONFORM TO SCHEDULES INDICATED IN THE 2018 INTERNATIONAL RESIDENTIAL CODE VARIOUS CHAPTERS, AND AS RECOMMENDED BY THE METAL CONNECTOR MANUFACTURER. - SEE SHEET PG-2 FOR SCHEDULE LEAVE 1/4" SPACE AT ALL PLYWOOD PANEL END JOINTS AND 1/8" SPACE AT ALL PANEL END JOINTS.

PROVIDE SOLID BLOCKING FROM TOP OF GROUND OR FOUNDATION WALL TO THE UNDERSIDE OF FLOOR AT WOOD POSTS. ALL WOOD POSTS SHALL BE 4X4" MINIMUM (UNLESS OTHERWISE NOTED).

**MECHANICAL**

ALL NEW MECHANICAL EQUIPMENT DESIGN, EQUIPMENT AND INSTALLATIONS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE 2018 INTERNATIONAL RESIDENTIAL CODE (CHAPTER 12 THROUGH 20), PLUS GAS, UNLESS OTHERWISE NOTED AND ALL LOCAL CODES, AND ALL APPLICABLE ASHRAE AND SMACNA STANDARDS.

THE HVAC CONTRACTOR SHALL VERIFY THE SUBPERFORMANCE OF THE EXISTING SYSTEMS AND CALCULATE THE NEW REQUIREMENTS TO DETERMINE IF THE EXISTING SYSTEMS WILL BE ADEQUATE TO ACCOMMODATE THE NEW ADDITION. IF THE EXISTING SYSTEMS ARE NOT ADEQUATE, THE CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST OF EXPANDING THE SYSTEMS AS REQUIRED FOR PROPER PERFORMANCE.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR MODIFICATIONS AND ADJUSTMENTS OF THE EXISTING HEATING SYSTEM INCLUDING RELOCATION/REWORKING OF EXISTING PIPING/DUCTWORK, ETC.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR INSTALLATION OF NEW AIR CONDITIONING SYSTEM EQUIPMENT, DUCTWORK, DIFFUSERS, THERMOSTATS, ETC.

CONTRACTOR SHALL REMOVE EXISTING AND PROVIDE NEW PERMETER BASEBOARD CONNECTIONS CONNECTOR TO BE SELECTED BY OWNER. CONTRACTOR TO PROVIDE W/P WATERBASED ON NEW ADDITIONS.

CONTRACTOR TO PROVIDE UNDER COUNTER CONNECTIONS IN KITCHEN AS REQUIRED.

**ELECTRICAL**

ALL ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE 2018 INTERNATIONAL RESIDENTIAL CODE, PART VII, CHAPTERS 35 THROUGH 43, UNLESS OTHERWISE NOTED.

AND ALL LOCAL CODES AND/OR ALL REGULATIONS OF THE LOCAL UTILITY COMPANY. ALL MATERIALS AND EQUIPMENT SHALL BE THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC. UNDERWRITERS CERTIFICATION SHALL BE OBTAINED TO THE SATISFACTION OF THE GENERAL CONTRACTOR PRIOR TO FINAL ACCEPTANCE OF THE WORK.

THE CONTRACTOR SHALL VERIFY THE SIZE AND DEGREE OF THE EXISTING ELECTRICAL SERVICE WILL BE ADEQUATE FOR NEW AND EXISTING LOADS COMBINED. IF SERVICE IS NOT ADEQUATE, THE CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST OF INCREASING THE ELECTRICAL SERVICE ACCORDINGLY.

ALL EXISTING WIRING AND OUTLETS WHICH ARE REMOVED DUE TO DEMOLITION ARE TO BE HANDLED IN STRICT CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (N.E.C.).

ALL APPROVED SMOKEHEAT DETECTORS INDICATED ON THE DRAWINGS ARE TO BE WIRED INTO THE ELECTRICAL SYSTEM. BATTERY OPERATED DETECTORS ARE NOT ACCEPTABLE.

ALL WIRING SHALL BE MINIMUM #12 AND #14 (AS REQUIRED) COPPER. NO ALUMINUM WIRE WILL BE PERMITTED.

COMMERCIAL DUPLEX RECEPTACLES SHALL BE 15 AMP, 125 VOLT, 2 POLE, 3 WIRE, GROUNDING TYPE. PROVIDE GROUND FAULT RECEPTACLES WHERE REQUIRED BY THE N.E.C. AT ALL WET AREAS.

ALL NEW INTERIOR LIGHTING FIXTURES WILL BE PROVIDED BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION.

PROVIDE POWER RECEPTACLES AS REQUIRED FOR APPLIANCES AS SHOWN. COORDINATE EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

**PLUMBING**

ALL PLUMBING MATERIALS AND INSTALLATIONS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE 2018 INTERNATIONAL RESIDENTIAL CODE, PART VI, CHAPTERS 27 THROUGH 32, UNLESS OTHERWISE NOTED. ALL NEW PLUMBING FIXTURES COMPLETE WITH RELATED FIXTURES AND ACCESSORIES SHALL BE PROVIDED BY THE OWNER WITH THE CONTRACTOR RESPONSIBLE FOR COMPLETE INSTALLATION AND CONNECTIONS.

NEW WATER PIPING SHALL BE TYPE 1/2" COPPER, HANG TIGHTED WITH DIELECTRIC UNIONS.

REFER TO DRAWINGS FOR LOCATION OF NEW ROOF VENT STACK. COLOR OF PENETRATING STACK, ROOF JOIST AND FLASHING SHALL BE BLACK OR DRUM TO MATCH ROOFING COLOR.

ALL PIPING EXPOSED TO THE ELEMENTS SHALL BE INSULATED INCLUDING PIPING LOCATED IN EXTERIOR WALLS.

CONTRACTOR TO VERIFY THE SIZE OF EXISTING DOMESTIC HOT WATER SYSTEM AND DETERMINE IF THE EXISTING SYSTEM WILL BE ADEQUATE FOR NEW AND EXISTING LOADS COMBINED. IF SYSTEM IS NOT ADEQUATE, THE CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST OF EXPANDING SAID SYSTEM ACCORDINGLY, AS REQUIRED FOR PROPER PERFORMANCE.

**FINISH WORK**

ALL FINISH WORK SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE 2018 INTERNATIONAL RESIDENTIAL CODE, PART VII, CHAPTER 7 - WALL COVERINGS, UNLESS OTHERWISE NOTED.

ALL TRIM WORK AND FINISHES ON EXISTING REMAINING WALLS, SHALL BE REMOVED BY CONTRACTOR, INCLUDING, BUT NOT LIMITED TO PAPERING, WALL PAPER AND BASE, WINDOW, DOOR & CROWN MOULDINGS AND TRIM. ALL EXISTING WALLS TO REMAIN SHALL BE RESURFACED TO 1/4" NON-PLASTER FINISH. WORK MAY INCLUDE BUT NOT BE LIMITED TO TAPES AND SPACKLE REPAIRS, EXISTING GYPSUM WALLBOARDS REMOVAL AND REPAIRWORK, AND NEW GYPSUM WALLBOARDS CLADDING OVER EXISTING WALLS. NEW AND EXISTING WALLS SHALL BE TAPED, SPACKLED, PRIMEED AND READY FOR NEW PAINT AND/OR CERAMIC TILE FINISHES.

FLOOR FINISHES THROUGHOUT ENTIRE EXISTING HOUSE, INCLUDING BUT NOT LIMITED TO CARPET AND CERAMIC TILE TO BE REMOVED. NEW FLOOR FINISHES TO BE SELECTED BY OWNER. COORDINATE RESPONSIBILITIES OF FURNISHMENT AND INSTALLATION WITH OWNER.

ALL FINISHES IN BATHROOMS AND POWDER ROOM SHALL BE SELECTED BY OWNER. COORDINATE RESPONSIBILITIES OF FURNISHMENT AND INSTALLATION WITH OWNER.

ELEVATIONS ARE ARTISTIC CONCEPTIONS ONLY. HOMEOWNER SHALL REFER TO THE SAME CONTRACT FOR SPECIFIC FINISH MATERIALS PROVIDED BY THE CONTRACTOR.

**SITE & ZONING DATA**

JURISDICTION : VILLAGE OF GREENPORT

SEC. : 6 BLK. : 3 LOT : 5

ZONE : R-2 RESIDENCE DISTRICT

PERMITTED USE : TWO-FAMILY DWELLING

SITE AREA : 14,088 sq.ft. / .32 ACRES

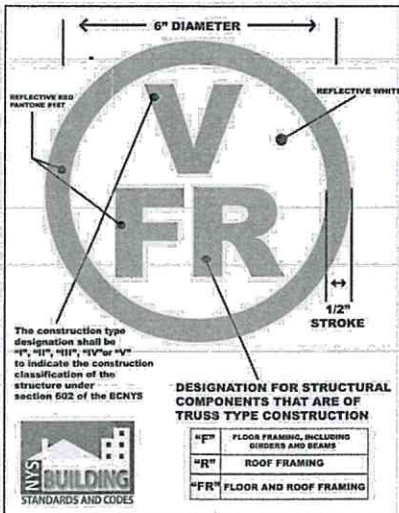
THIS PROJECT COMPLIES WITH THE 2020 N.Y.S. RESIDENTIAL CODE N.F.P.A. 70 STANDARD

ZONING RULE CODE	REQUIRED	EXISTING	PROPOSED
A. HEIGHT OF BUILDING (max.)	35'-0" / 2 1/2 story	25'-7" / 2 story	NO CHANGE
B. LOT COVERAGE (max.)	30% (max.) / 14,088/30% / 4,226.4 sq.ft.	GARAGE: 433.7 / HOUSE: 1,232.5 / TOTAL: 1,666.2 (11.8%)	GARAGE: 433.7 / HOUSE: 1,192.1 / PORCHES: 174.7 / TOTAL: 1,800.5 (12.7%)
C. LOT AREA (min.)	7,500 sq.ft.	14,088 sq.ft.	NO CHANGE
D. LOT WIDTH (min.)	60'-0"	62.48'	NO CHANGE
E. FRONT YARD SETBACK (min.)	30'-0"	17.7'	NO CHANGE
F. REAR YARD SETBACK (min.)	30'-0"	102.7'	NO CHANGE
G. LIVABLE FLOOR AREA (min.)	1,000 sq.ft.	1,850.5 sq.ft.	2,246.1 sq.ft.
H. SIDE YARD SETBACK (min.)	10'-0"	S.Y.#1 34.0' / S.Y.#2 2.5' / TOTAL 36.5'	S.Y.#1 35.5' / S.Y.#2 2.5' / TOTAL 38.0'
I. PARKING SPACES (min.)	2	5 SPACES	NO CHANGE
ACCESSORY BUILDING			
J. HEIGHT OF BUILDING (max.)	15'-0"	N/A	NO CHANGE
K. ANY LOT LINE (min.)	10'-0"	S.Y.#1 6.4' / R.Y.#2 66.3'	NO CHANGE



**SITE LOCATION**

SCALE: N.T.S.



**TRUSS SIGN SAMPLE**

PRE-ENGINEERED WOOD (PW)  
LOCATION: FLOOR & ROOF FRAMING "FR"

**RESIDENTIAL CODE OF NEW YORK STATE - TABLE R 301.2 (1)**

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30	130 MPH	NO	NO	NO	C	SEVERE	MIN 3'-0" BELOW FINISHED GRADE	MODERATE TO HEAVY	11° F	YES	DATE OF CURRENT EFFECTIVE FLOOD INSURANCE RATE MAP 05/2009	1500 or LESS	52.7°

**MANUAL J DESIGN CRITERIA TABLE R301.2(1)**

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMP. COOLING
98'	40°	15	85	0.996	70°F	75DB
HEATING TEMP. DIFFERENCE	COOLING TEMP. DIFFERENCE	WIND VELOCITY COOLING	COINCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY
-	-	-	72	MEDIUM	N/A	50%

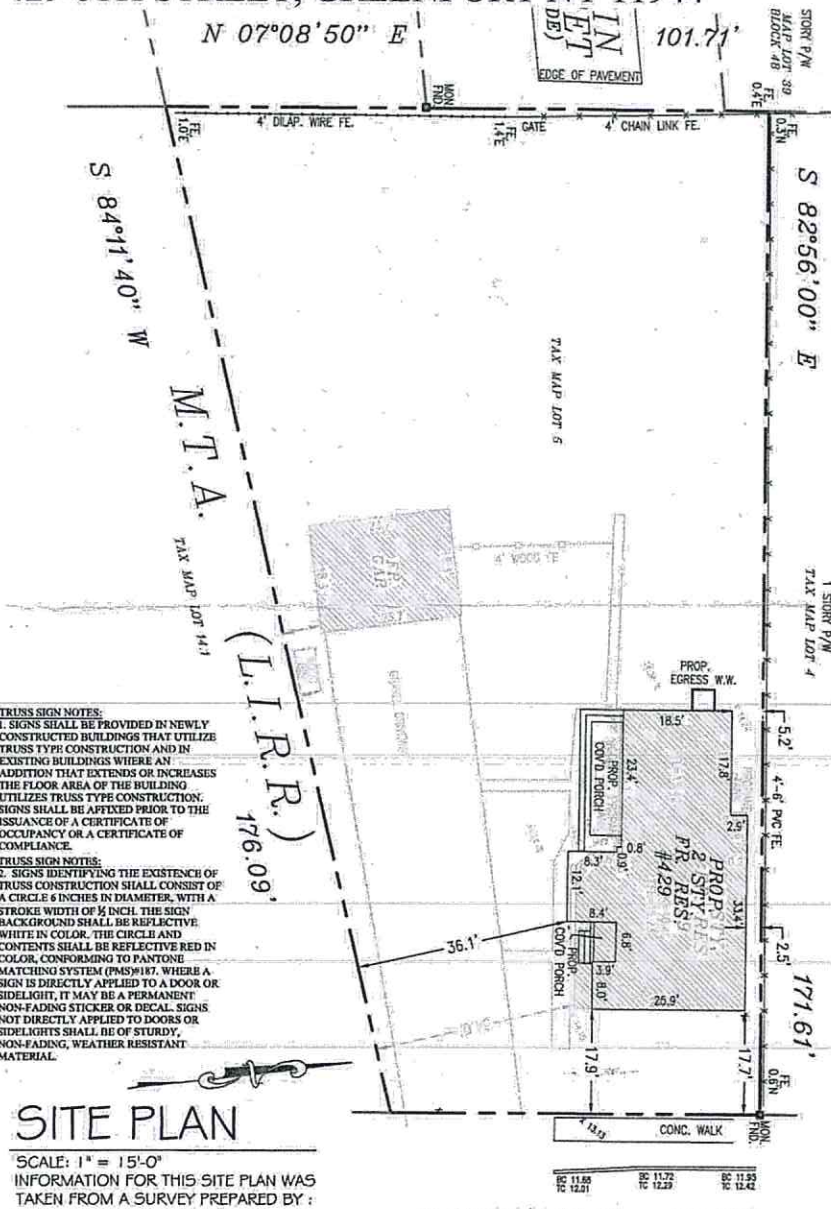
**TABLE R402.1.2 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT (2020 NYS RESIDENTIAL CODE-RESCHECK)**

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
REQUIRED	4A	0.32	0.55	R-49	20 or 13+5	8/13	19	10/13	10'/2FT.	10/13
PROPOSED	4A	0.30	N/A	R-38	R-20	N/A	R-38	R-10 EXT.	R-10'/2FT.	R-10 RIGID EXTERIOR

WINDOW: 'ANDERSEN' 400 SERIES WOODRIGHT FULL FRAME DOUBLE HUNG W/LOW-E4-SIMULATED FINISH LIGHT COULERS

**KENNEDY RESIDENCE**

429 6TH STREET, GREENPORT NY 11944



**SITE PLAN**

SCALE: 1" = 15'-0"  
INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY: SCALICE LAND SURVEYING 1 SOUTH BAY AVENUE ISLIP, NY 11751 MUSLANDSURVEY.COM TEL: 631-957-2400 MAP OF WIGGINS ESTATE FILE#534

**SCOPE OF WORK:**

- 1<sup>ST</sup> FLR. INTERIOR ALTERATIONS - 1,166.7 SQ.FT.
- FIRST FLOOR ADDITION - 25.4 SQ.FT.
- COVERED PORCHES - 174.7 SQ.FT.
- 2<sup>ND</sup> FLR. INTERIOR ALTERATIONS - 618.0 SQ.FT.
- SECOND FLOOR ADDITION - 436.0 SQ.FT.

**KENNEDY RESIDENCE**

429 6TH STREET GREENPORT, NY 11944 SECTION: 6 BLOCK: 3 LOT: 5 VILLAGE OF GREENPORT SUFFOLK COUNTY

THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ENGINEER FOR THIS PROJECT ARE HEREBY SUBMITTED TO YOU FOR YOUR REVIEW. YOU SHALL BE RESPONSIBLE FOR THE ACTS OF OMISSIONS OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON-LAW, STATUTORY AND OTHER RIGHTS INCLUDING BUT NOT LIMITED TO THE RIGHT TO SUE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OF OMISSIONS OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON-LAW, STATUTORY AND OTHER RIGHTS INCLUDING BUT NOT LIMITED TO THE RIGHT TO SUE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OF OMISSIONS OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON-LAW, STATUTORY AND OTHER RIGHTS INCLUDING BUT NOT LIMITED TO THE RIGHT TO SUE.

**THOMAS D. REILLY P.E.**

4 BEZEL LANE SMITHTOWN, NY 11787 PHONE: (631) 724-5740 EMAIL: TDRE@TDRPE.COM

**NOTES:**

1. SIGNAGE SHALL BE PROVIDED IN NEWLY CONSTRUCTED BUILDINGS THAT UTILIZE TRUSS TYPE CONSTRUCTION AND IN EXISTING BUILDINGS WHERE AN ADDITION THAT EXTENDS OR INCREASES THE FLOOR AREA OF THE BUILDING UTILIZES TRUSS TYPE CONSTRUCTION. SIGNAGE SHALL BE AFFIXED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLIANCE.

2. SIGNAGE IDENTIFYING THE EXISTENCE OF TRUSS CONSTRUCTION SHALL CONSIST OF A CIRCLE 6 INCHES IN DIAMETER, WITH A STROKE WIDTH OF 1/8 INCH. THE SIGN BACKGROUND SHALL BE REFLECTIVE WHITE IN COLOR. THE CIRCLE AND CONTENTS SHALL BE REFLECTIVE RED IN COLOR, CONFORMING TO PANTONE MATCHING SYSTEM (PMS) #177, WHERE A SIGN IS DIRECTLY APPLIED TO A DOOR OR SIDELIGHT, IT MAY BE A PERMANENT NON-FADING STICKER OR DECAL. SIGNS NOT DIRECTLY APPLIED TO DOORS OR SIDELIGHTS SHALL BE OF STURDY







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NOTES:

**CLIENT APPROVALS:**

APPROVED BY:	DATE:
▲ ISSUED FOR CLIENT REVIEW	7/2/2020
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▲ ISSUED FOR CLIENT REVIEW	9/14/2020

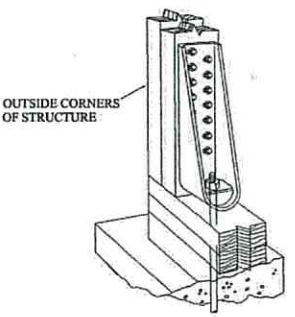
**REVISIONS & DRAWING ISSUE:**

ISSUED FOR:	DATE:
▲ ISSUED FOR G.C. BID	10/13/2020
▲ DOUBLE HUNG WINDOWS	10/27/2020
▲ ISSUED TO BUILDING DEPT.	11/24/2020

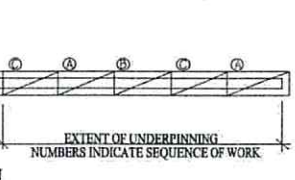
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 ENGINEER SEAL: [Signature]  
 DATE: 6/25/2021  
 SCALE: AS NOTED  
 DRAWN BY: D.G.  
 CHECKED BY: T.D.R.  
 DRAWING NO: [Blank]  
**A-1**

**UNDERPINNING PROCEDURE**

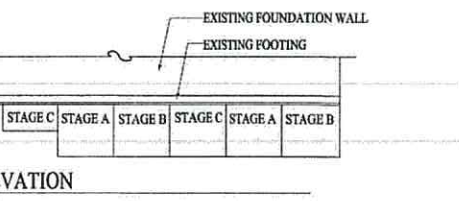
- EXCAVATE ON EXTERIOR OF BUILDING @ A 45° SLOPE DOWN TO BOTTOM OF NEW FOOTING ELEVATION
- INSTALL TEMPORARY SHEETING/SHORING @ 4'-0"± ON CENTER HORIZONTALLY BELOW EXISTING FOOTING
- EXCAVATE AREA MARKED 'A', BRACING TEMPORARY SHORING AS EXCAVATION PROCEEDS.
- INSTALL UNDERPINNING CONCRETE IN AREAS UP TO 3' BELOW BOTTOM OF EXISTING FOOTING
- AFTER 3 DAYS, GROUT AREAS 'A' TIGHT TO UNDERSIDE OF EXISTING FOOTING WITH NON-SHRINK GROUT.
- AFTER 3 DAYS, EXCAVATE AREAS MARKED 'B' AND REMOVE TEMPORARY SHORING.
- INSTALL UNDERPINNING CONCRETE IN AREAS 'B' UP TO 3' BELOW BOTTOM OF EXISTING FOOTING.
- AFTER 3 DAYS, GROUT AREAS 'B' TIGHT TO UNDERSIDE OF EXISTING FOOTING WITH NON-SHRINK GROUT.
- AFTER 3 DAYS, EXCAVATE AREAS MARKED 'C' AND REMOVE TEMPORARY SHORING. PROCEED AS IN STEPS 7 & 8 ABOVE.



**TYPICAL: HOLD-DOWN CONNECTOR DETAIL @ FOUNDATION**  
 SIMPSON - HDU8-SDS2.5 (24) SDS1/4X3



- NOTES:**
- MINIMUM CONCRETE STRENGTH SHALL BE (3,500 PSI) AT 28 DAYS.
  - CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING THE SPACE BETWEEN THE TOP OF THE CONCRETE AND THE UNDERSIDE OF THE CONSTRUCTION ABOVE.
  - SHORE AND BRACE WHERE NECESSARY TO ENSURE THE SAFETY AND STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

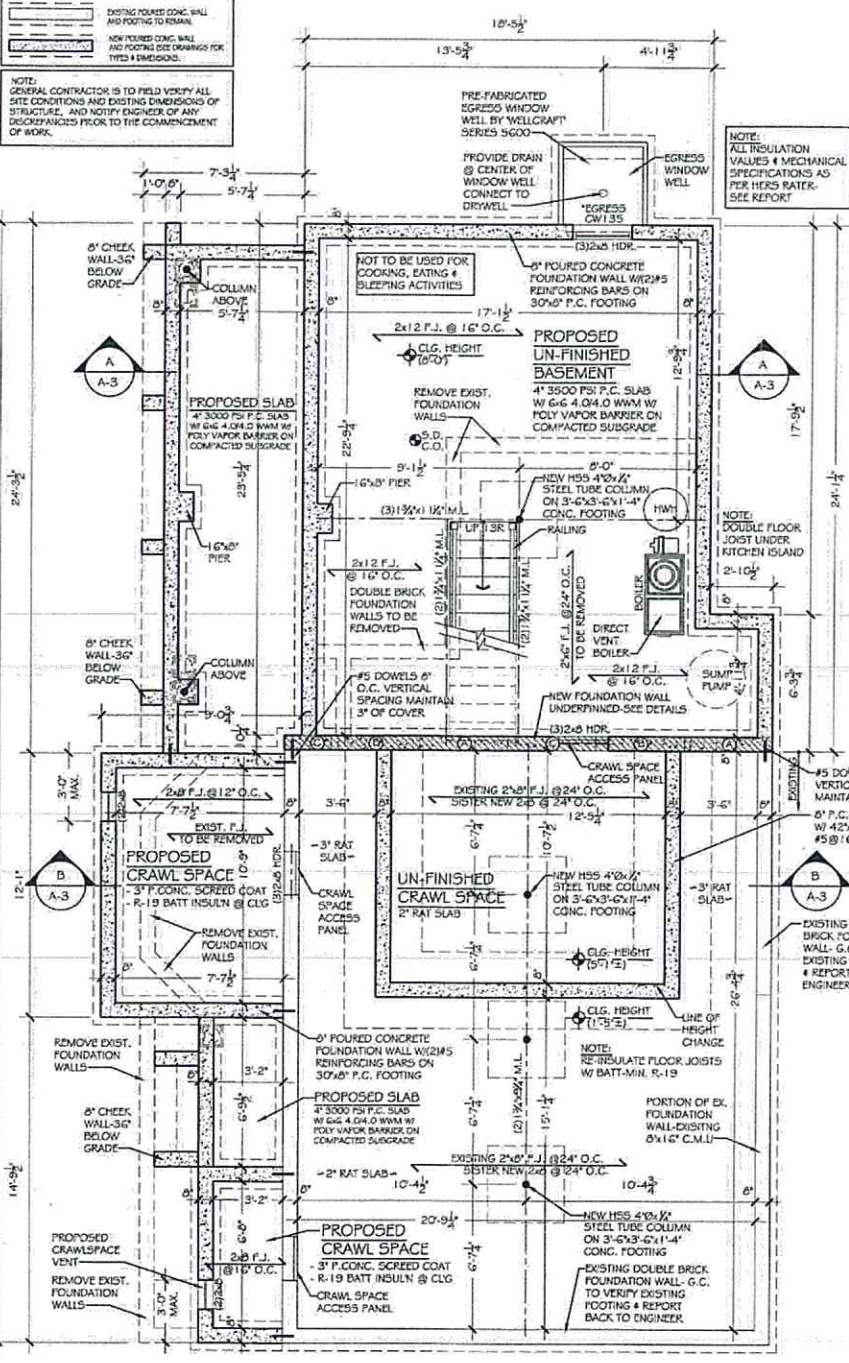


**ELEVATION**

**LEGEND**

[Symbol]	EXISTING FOUND CON. WALL AND FOOTING TO REMAIN
[Symbol]	EXISTING FOUND CON. WALL AND FOOTING TO REMAIN
[Symbol]	NEW FOUND CON. WALL AND FOOTING TO REMAIN
[Symbol]	NEW FOUND CON. WALL AND FOOTING TO REMAIN

**NOTE:**  
 GENERAL CONTRACTOR IS TO FIELD VERIFY ALL SITE CONDITIONS AND EXISTING DIMENSIONS OF STRUCTURE, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.



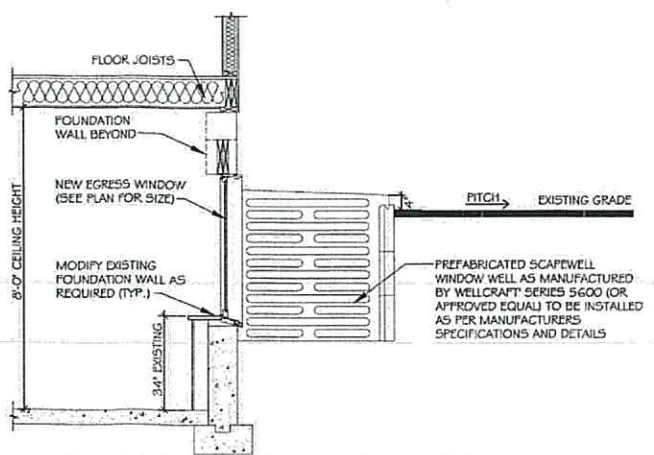
**PROPOSED FOUNDATION PLAN** NORTH

SCALE: 1/4" = 1'-0"

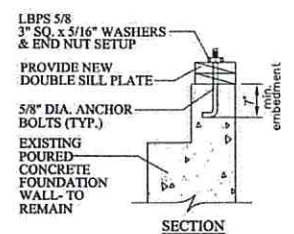
GENERAL CONTRACTOR IS TO FIELD VERIFY ALL SITE CONDITIONS AND EXISTING DIMENSIONS OF STRUCTURE, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.

- NOTES:**
- CARE MUST BE TAKEN DURING THE EXCAVATION PROCEDURES SO AS NOT TO EXPOSE A LARGER SECTION AND/OR UNDERMINE THE FOUNDATION WALL. CARE MUST ALSO BE TAKEN TO PREVENT UNDERMINING ANY INTERIOR FLOORS OR OTHER STRUCTURES WHICH MAY BE SUPPORTED ON GRADE. ANY RESULTING VOIDS MUST BE FILLED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT, AND, IF NEEDED, REPAIR, ANY DAMAGE TO THE SUBJECT FOUNDATION, OR ANY ADJACENT STRUCTURES DURING THE COURSE OF THE WORK.
  - ANY DISCREPANCIES NOTED IN THE DRAWINGS, ANY PRODUCT MANUFACTURERS SPECIFICATIONS, AND THESE NOTES, SHALL BE SUBMITTED TO THE ENGINEER FOR RESOLUTION BEFORE THE WORK INVOLVED IS UNDERTAKEN.
  - ALL WORK SHALL BE INSPECTED AND CERTIFIED BY THE ENGINEER.

- UNDERPINNING NOTES**
- EXISTING FOUNDATIONS SHALL BE UNDERPINNED SO AS NOT TO BE UNDERMINED OR ADVERSELY AFFECTED BY ANY PROPOSED AND/OR ADJACENT CONSTRUCTION.
  - FOUNDATION WALLS SHALL BE UNDERPINNED IN AREAS INDICATED ON THE DRAWING(S).
  - FOUNDATION WALLS SHALL BE UNDERPINNED IN SECTIONS OR PANELS NOT TO EXCEED 48 INCHES IN LENGTH.
  - CARE MUST BE TAKEN DURING THE EXCAVATION PROCEDURES SO AS NOT TO EXPOSE A LARGER SECTION AND/OR UNDERMINE THE FOUNDATION WALL. CARE MUST ALSO BE TAKEN TO PREVENT UNDERMINING ANY INTERIOR FLOORS OR OTHER STRUCTURES WHICH MAY BE SUPPORTED ON GRADE. ANY RESULTING VOIDS MUST BE FILLED.
  - FOUNDATION WALL(S) SHALL BE UNDERPINNED IN NON-ADJACENT (ALTERNATING) PANELS.
  - THE UNDERPINNING PANELS MUST BE PLACED ON SUITABLE BEARING MATERIAL, I.E. NON-ORGANIC, DENSE AND/OR COMPACT SOIL, WITH NO DELETERIOUS MATERIAL. IF UNSUITABLE MATERIAL IS ENCOUNTERED AT THE SPECIFIED DEPTHS, THE EXCAVATION MUST BE EXTENDED UNTIL SUITABLE MATERIAL IS ENCOUNTERED. THE UNDERPINNING MAY EITHER BE EXTENDED TO THE NEW BOTTOM, OR GRADE MAY BE RESTORED TO THE SPECIFIED DEPTH WITH SUITABLE COMPACTED MATERIAL, I.E. GRAVEL OR CRUSHED STONE AGGREGATE.
  - THE UNDERPINNING PANELS SHALL CONSIST OF A POURED CONCRETE PORTION AND A "DRYPAK" PORTION.
  - CONCRETE (3,500 PSI MINIMUM) SHALL BE USED TO FILL THE PANEL WITHIN 3" ± INCHES FROM THE BOTTOM OF THE EXISTING FOOTING. THIS GAP SHALL BE JUST LARGE ENOUGH TO PERMIT THE PLACEMENT OF "DRYPAK" AS DISCUSSED BELOW.
  - AFTER THE CONCRETE IS ALLOWED TO SET (3 DAY MINIMUM), THE 3" ± INCH GAP SHALL BE FILLED WITH "DRYPAK" CEMENT (CONTENT WITH A MINIMAL MOISTURE CONTENT AS INDICATED BY THE MANUFACTURER). THE "DRYPAK" SHALL BE RAMMED OR RODDED IN PLACE, USING A 2"x4" TIMBER OR OTHER SUITABLE TOOL.
  - ADJACENT PANELS SHALL NOT BE EXCAVATED UNTIL 7 DAYS AFTER THE PLACEMENT OF THE "DRYPAK".
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT, AND, IF NEEDED, REPAIR, ANY DAMAGE TO THE SUBJECT FOUNDATION, OR ANY ADJACENT STRUCTURES DURING THE COURSE OF THE WORK.
  - ANY DISCREPANCIES NOTED IN THE DRAWINGS, ANY PRODUCT MANUFACTURERS SPECIFICATIONS, AND THESE NOTES, SHALL BE SUBMITTED TO THE ENGINEER FOR RESOLUTION BEFORE THE WORK INVOLVED IS UNDERTAKEN.
  - ALL WORK SHALL BE INSPECTED AND CERTIFIED BY THE CONTRACTOR'S ENGINEER.

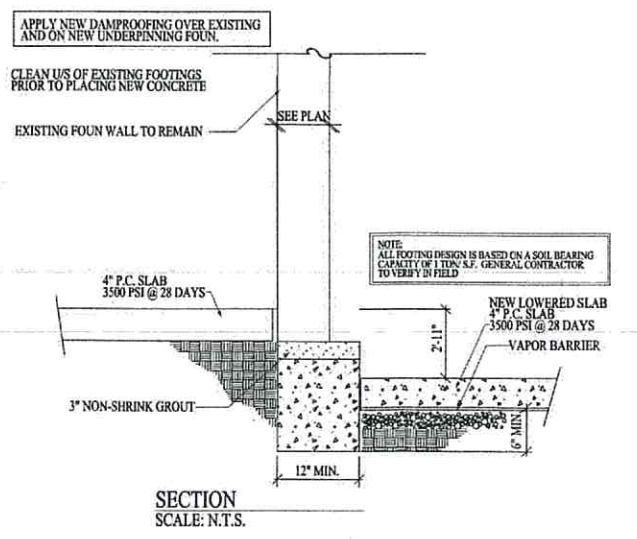


**EMERGENCY ESCAPE**  
 SCALE: 1/2" = 1'-0"



**TYPICAL: ANCHOR BOLT DETAIL**

- USE 5/8" DIA. ANCHOR BOLTS W/ MIN. 7" EMBEDMENT INTO CONCRETE W/ LBPS 5/8 - 3" SQUARE x 3/16" WASHERS AND END NUT SETUP.
- ANCHOR NOTED HEREIN ARE TO BE 23" O.C. 12" MAXIMUM FROM ENDS AND CORNERS. (COMPLIES WITH TABLE 3.2B 2015 WFCM)



**SECTION**  
 SCALE: N.T.S.



THE DRAWING SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ENGINEER FOR THIS PROJECT ARE INTENDED TO BE USED BY THE CONTRACTOR AS A GUIDE ONLY WITH RESPECT TO THE PROJECT AND THE ENGINEER'S OBLIGATION IS LIMITED TO THE DESIGN OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN THE APPROVAL OF THE ENGINEER'S SEAL. THE ENGINEER'S SEAL IS NOT VALID UNLESS THE ENGINEER IS LICENSED IN THE STATE OF NEW YORK. THE ENGINEER'S SEAL IS NOT VALID UNLESS THE ENGINEER IS LICENSED IN THE STATE OF NEW YORK. THE ENGINEER'S SEAL IS NOT VALID UNLESS THE ENGINEER IS LICENSED IN THE STATE OF NEW YORK.

**THOMAS D. REILLY P.E.**  
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 EMAIL: TDREILLY@TDREILLY.COM

**NOTES:**

**CLIENT APPROVALS:**

APPROVED BY:	DATE:
▲ ISSUED FOR CLIENT REVIEW	7/2/2020
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REVISION:	DATE:
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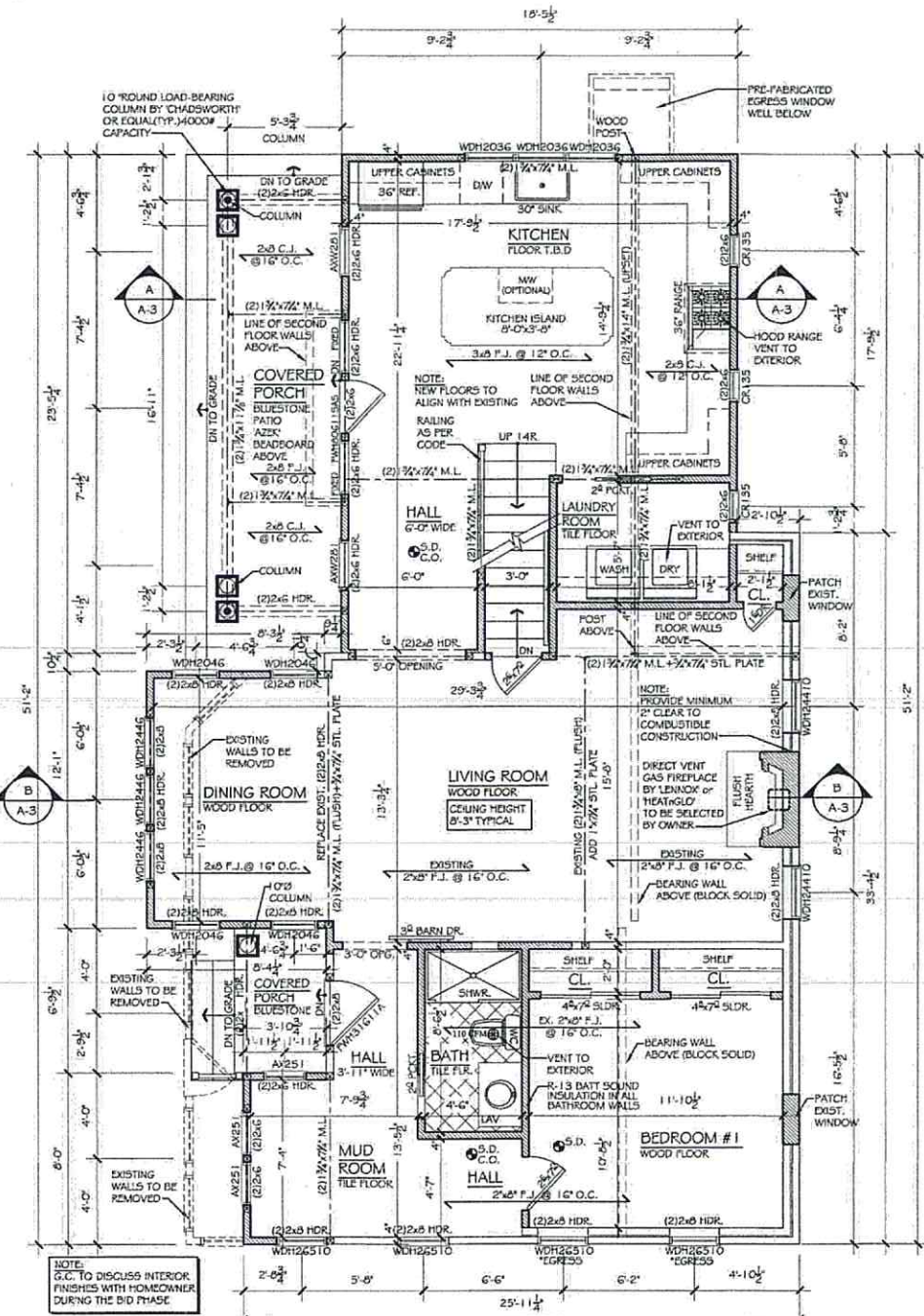
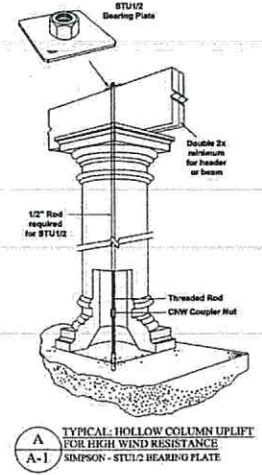
**PROJECT TITLE:** KENNEDY RESIDENCE  
**DATE:** 6/25/2020  
**SCALE:** AS NOTED  
**DRAWN BY:** D.G.  
**CHECKED BY:** T.D.R.  
**DRAWING NO.:**

**LEGEND**

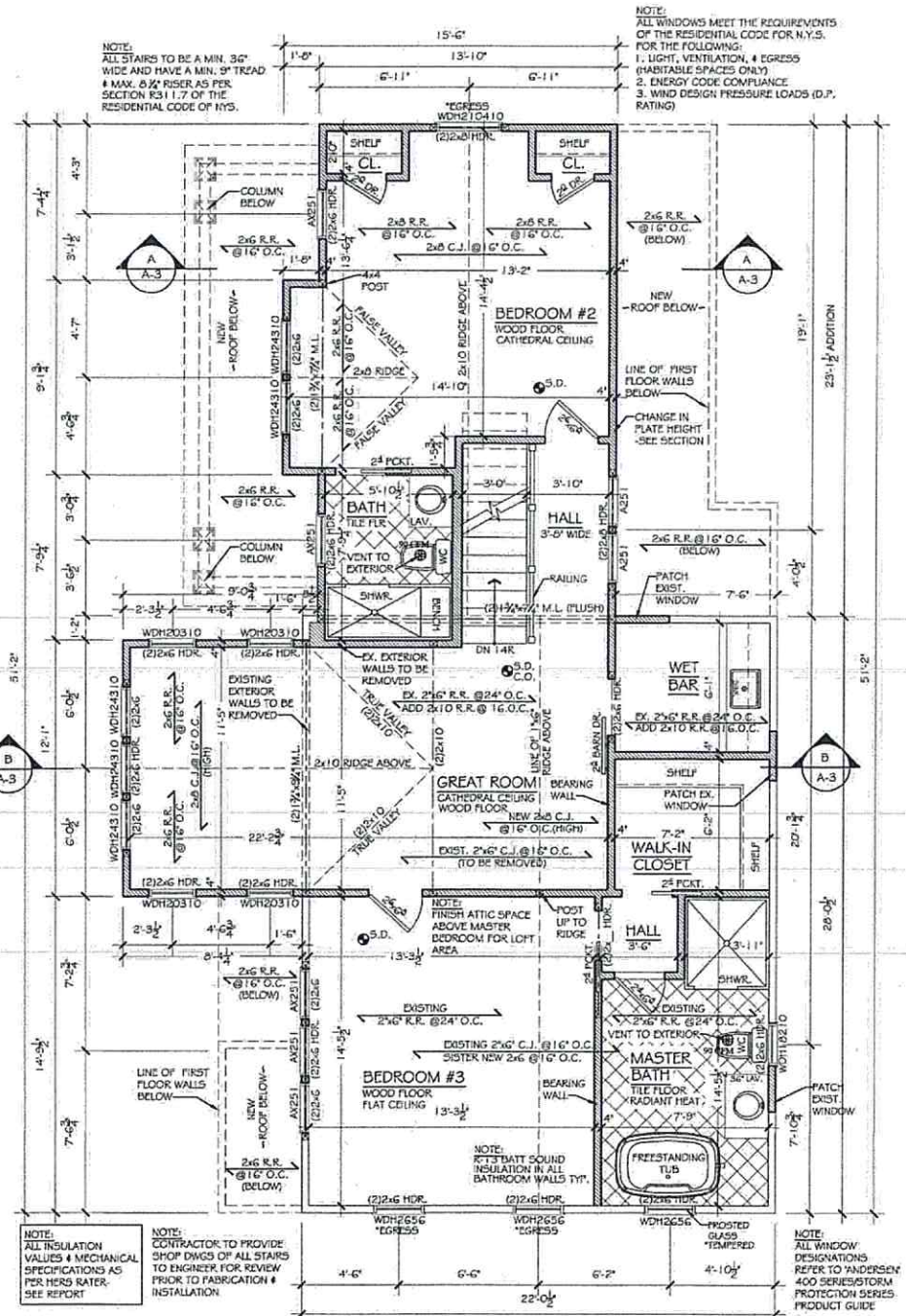
- EXISTING WALL OR PARTITION TO BE REMOVED
- EXISTING WALL OR PARTITION TO REMAIN
- NEW EXTERIOR WALL CONSISTING OF 2" X 4" WOOD STUDS (16" O.C.), 3/4" BATT INSULATION ON INS. EXTERIOR PLYWOOD SHEATHING, TYPICAL HOUSE WRAP AND HORIZONTAL SIDING, COLOR AND STYLE TO BE SELECTED BY OWNER
- NEW INTERIOR PARTITION CONSISTING OF 2" X 4" WOOD STUDS (16" O.C.) WITH 1/2" GYPSUM BOARD EACH SIDE FROM FLOOR TO VERGE OF CEILING ABOVE
- CONCRETE TO REMOVE EXISTING DOOR & WINDOW AND FRAME. CLOSE EXISTING OPENINGS WITH MATERIALS TO MATCH AND ADJUST WITH EXISTING ADJACENT.
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING DOOR AND FRAME TO REMAIN
- NEW DOOR AND FRAME

○ INDICATES HARD WIRE, INTERCOM-CONNECTED SMOKE DETECTORS  
 ○ INDICATES HARD WIRE CARBON MONOXIDE DETECTOR

NOTE: GENERAL CONTRACTOR IS TO FIELD VERIFY ALL SITE CONDITIONS AND EXISTING DIMENSIONS OF STRUCTURE, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.



**PROPOSED FIRST FLOOR PLAN** NORTH  
 SCALE: 1/4" = 1'-0"



**PROPOSED 2ND FLOOR PLAN** NORTH  
 SCALE: 1/4" = 1'-0"

GENERAL CONTRACTOR IS TO FIELD VERIFY ALL SITE CONDITIONS AND EXISTING DIMENSIONS OF STRUCTURE, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.



**KENNEDY RESIDENCE**

496TH STREET  
GREENPORT, NY 11944  
SECTION 6 BLOCK 3 LOT 5  
VILLAGE OF GREENPORT  
SUFFOLK COUNTY

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**NOTES:**

1. ALL INSULATION TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS.

2. PROVIDE ICE & WATER SHIELD EXTENDING A MINIMUM OF 24" FROM THE INTERIOR FACE OF ALL WALLS (TYPICAL).

3. PROVIDE CONTINUOUS RIDGE VENT (TYP.)

4. PROVIDE HIGH DENSITY CLOSED CELL SPRAY FOAM (R-30 MIN). NOTE: THE THICKNESS, IN INCHES OF SPRAYED INSULATION MUST BE MARKED AT EVERY 300 SQ. FT. THROUGHOUT THE ATTIC.

5. PROVIDE EAVE BAFFLE - SEE NOTE ON EC-1 SHEET

6. PROVIDE ALUMINUM GUTTER

7. R505 1/2 ICE BARRIER IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING A BACKUP OF WATER AS DESIGNATED IN TABLE R501.2(1). AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE & SLATE TYPE SHINGLES, WOOD SHINGLES & WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT & EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN 6 UNITS VERTICAL IN 12 UNITS HORIZONTAL, THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36" MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.

8. PROVIDE 2" R-10 RIGID BOARD INSULATION FROM TOP OF FOOTING - PROVIDE PROTECTION BOARD OF PROTECTIVE MINERAL WOOL INSULATION (MIN. 6" BELOW GRADE)

9. NOTE FOR LAVOYER VALLEY: HAILING PAD SECURED TO PRIMARY FRAMING. PAD WIDTH TO ACCOMMODATE HAIL CUT @ RAFTER END. PROVIDE UPRIFT CONNECTIONS @ RAFTERS TO HAILING PAD. NO ROOFING UNDER NAILER OR LAVOYER ASSEMBLY. MAINTAIN VENTILATION @ LAVOYER.

**CLIENT APPROVALS:**

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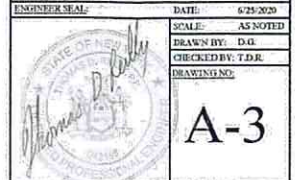
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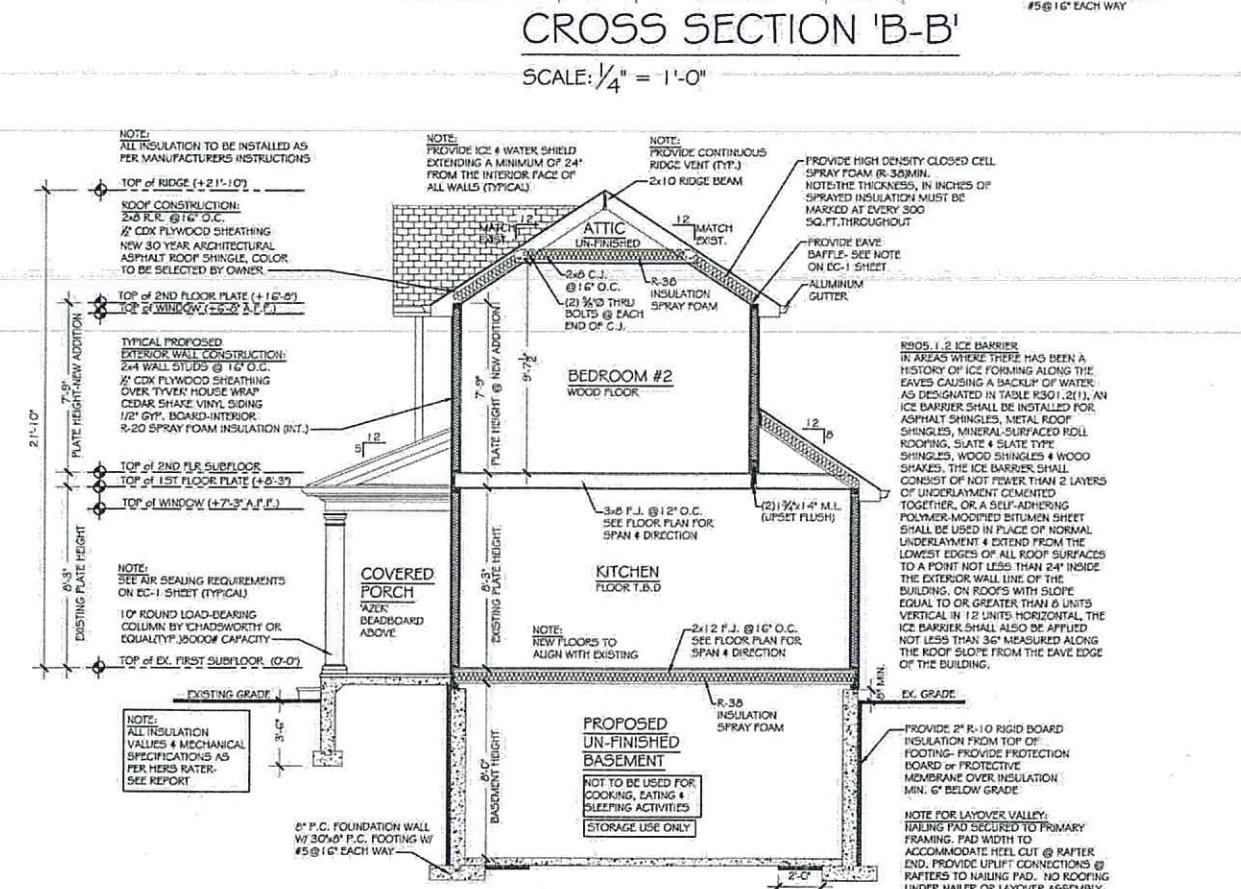
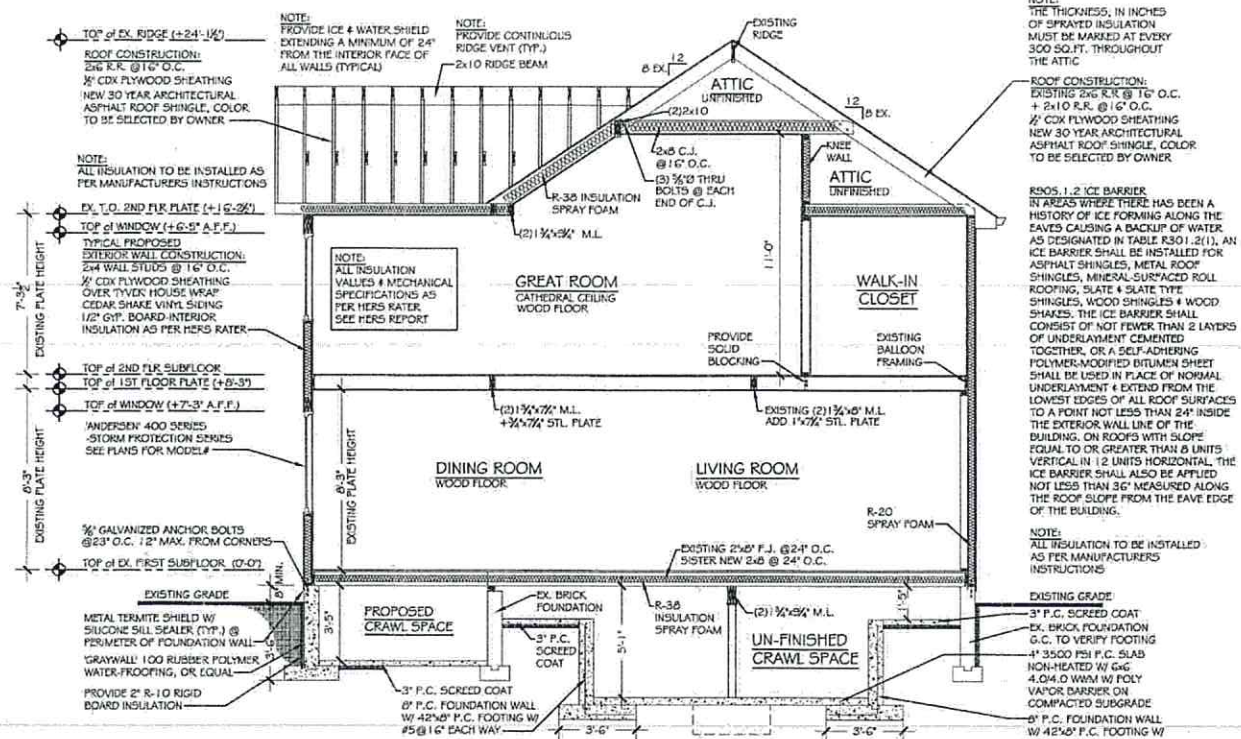
**DRAWN BY:** D.R.

**CHECKED BY:** T.D.R.

**DRAWING NO.:**



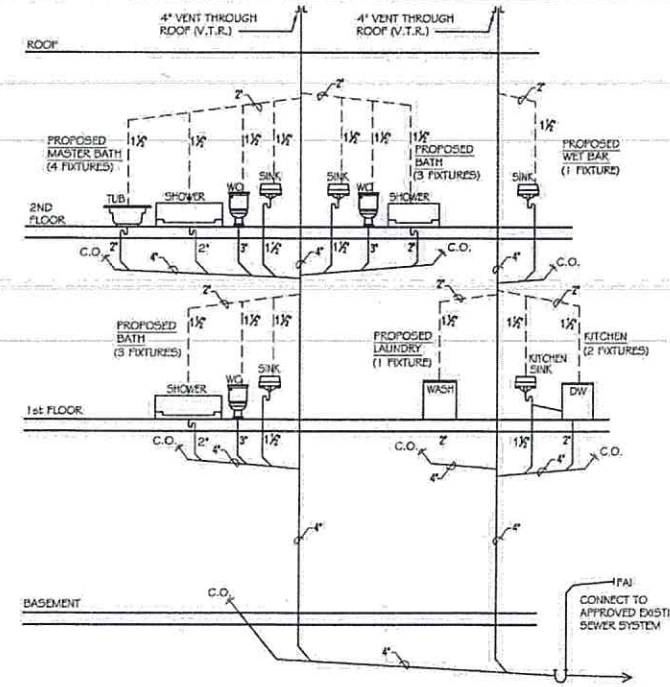
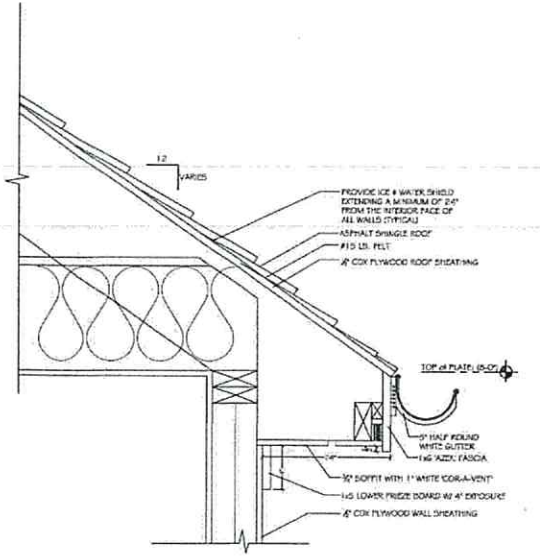
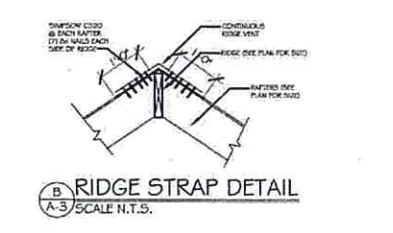
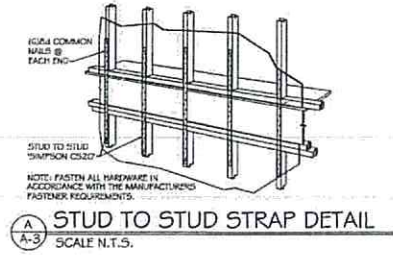
**PROPOSED EXTERIOR ELEVATIONS**



**TABLE P3201.7 SIZE OF TRAPS FOR PLUMBING FIXTURES**

PLUMBING FIXTURE	TRAP SIZE MINIMUM (INCHES)
Bathtub (with or without shower head and/or whirlpool attachments)	1 1/2
Bidet	1 1/4
Clothes washer standpipe	2
Dishwasher (on separate trap)	1 1/2
Floor drain	2
Kitchen sink (one or two traps, with or without dishwasher and food waste disposer)	1 1/2
Laundry tub (one or more compartments)	1 1/2
Lavatory	1 1/4
Shower (based on the total flow rate through showerheads and bodysprays)	
Flow rate:	
5.7 gpm and less	1 1/2
More than 5.7 gpm up to 12.3 gpm	2
More than 12.3 gpm up to 25.8 gpm	3
More than 25.8 gpm up to 55.6 gpm	4

For SI: 1 inch = 25.4 mm.



**P1101.3 FLASHINGS AND SEALING**  
AT LEAST ONE OPEN VENT PIPE SHALL EXTEND THROUGH A ROOF AND SHALL BE TERMINATED AT LEAST 18 INCHES ABOVE THE ROOF EXCEPT THAT WHERE A ROOF IS TO BE USED FOR ANY PURPOSE OTHER THAN WEATHER PROTECTION, THE VENT EXTENSIONS SHALL BE RUN AT LEAST 7 FEET (2134 MM) ABOVE THE ROOF.

**P1101.2 FROST CLOSURE**  
EVERY VENT EXTENSION THROUGH A ROOF SHALL BE A MINIMUM OF 3 INCHES (76 MM) IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE INSIDE THE STRUCTURE A MINIMUM OF 1 FOOT (305 MM) BELOW THE ROOF.

**P1201.7 SIZE OF FIXTURE TRAPS**  
TRAP SIZES FOR PLUMBING FIXTURES SHALL BE AS INDICATED IN TABLE P3201.7. WHERE THE TAILPIECE OF A PLUMBING FIXTURE IS LARGER THAN THAT INDICATED IN TABLE P3201.7, THE TRAP SIZE SHALL BE THE SAME NOMINAL SIZE AS THE FIXTURE TAILPIECE. A TRAP SHALL NOT BE LARGER THAN THE DRAINAGE PIPE INTO WHICH THE TRAP DISCHARGES.



THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ENGINEER FOR THIS PROJECT ARE INTERPRETATIONS OF THE ENGINEER'S REVIEW FOR HIS SOLELY INTEREST IN THIS PROJECT AND UNDER NO CIRCUMSTANCES SHALL BE USED FOR ANY OTHER PROJECT. THE ENGINEER SHALL BE EXEMPTED FROM LIABILITY FOR THESE DOCUMENTS AND SHALL BE HELD HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND OTHER CONSEQUENCES ARISING FROM THE USE OF THESE DOCUMENTS FOR ANY OTHER PROJECT. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM.

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NOTES

CLIENT APPROVALS:

APPROVED BY:	DATE:
▲ ISSUED FOR CLIENT REVIEW	7/2/2020
▲ ISSUED FOR CLIENT REVIEW	7/8/2020
▲ ISSUED FOR CLIENT REVIEW	7/14/2020
▲ ISSUED FOR CLIENT REVIEW	7/25/2020
▲ ISSUED FOR CLIENT REVIEW	7/28/2020
▲ ISSUED FOR CLIENT REVIEW	7/29/2020
▲ ISSUED FOR CLIENT REVIEW	8/16/2020
▲ ISSUED FOR CLIENT REVIEW	8/23/2020
▲ ISSUED FOR CLIENT REVIEW	8/31/2020
▲ ISSUED FOR CLIENT REVIEW	9/13/2020
▲ ISSUED FOR CLIENT REVIEW	9/14/2020

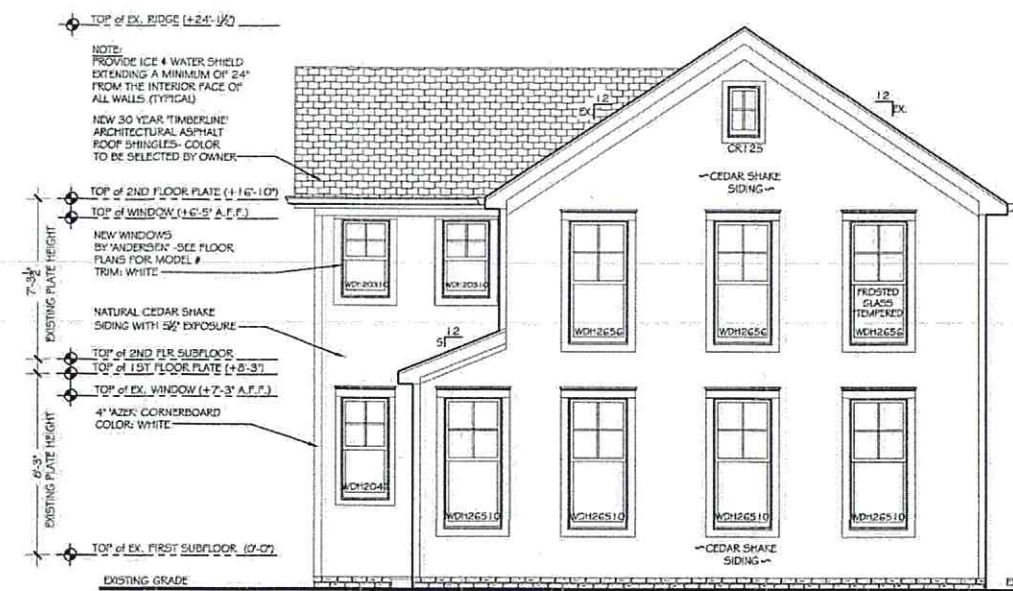
REVISIONS & DRAWING ISSUE:

ISSUE:	DATE:
▲ ISSUED FOR GC BID	10/13/2020
▲ DOUBLE HUNG WINDOWS	10/27/2020
▲ ISSUED TO BUILDING DEPT.	11/24/2020

PROJECT TITLE: KENNEDY RESIDENCE  
 ENGINEER SEAL: [Signature] DATE: 6/25/2020  
 SCALE: AS NOTED

STATE OF NEW YORK  
 PROFESSIONAL ENGINEER  
 THOMAS D. REILLY  
 No. 12345  
 A-4

DRAWING TITLE: PROPOSED EXTERIOR ELEVATIONS  
 KENNEDY RESIDENCE



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL EXTERIOR NOTES  
 ALL EXTERIOR WINDOWS TO BE HIGH PERFORMANCE WITH INSULATING GLASS AND SCREENS. WINDOW HEAD HEIGHT TO BE 0'-8" A.F.F., UNLESS OTHERWISE NOTED.  
 GUTTERS AND LEADERS NOT SHOWN FOR CLARITY. GUTTERS TO BE OF HIGH QUALITY, COLOR AND STYLE AS SELECTED BY OWNER. GUTTERS TO BE SECURED WITH METAL STRAPS. SOFFITS TO BE VINYL, "BEAD BOARD STYLE" WITH HIDDEN VENTS, ON CONTINUOUS WD BLOCKING FASCIA, RAKE BOARD, CORNER BOARDS AND WINDOW & DOOR TRIM TO BE 5/8" THK. BOARDS WITH ALUMINUM FRAME METAL CLADDING OVER. COLOR TO BE SELECTED BY OWNER.  
 EXTERIOR FINISH TO BE VINYL SIDING WITH ALL RELATED TRIM, AND MOULDINGS AS REQUIRED FOR A COMPLETE INSTALLATION.  
 PROVIDE CONTINUOUS RIDGE VENTS  
 PROVIDE PROPER FLASHING AND COUNTER FLASHING TO ENSURE WATER TIGHT SEAMS THROUGHOUT PROJECT  
 PROVIDE ICE SHIELD FROM EAVE TO 24" INSIDE THE EXTERIOR WALL LINE (TYP.)



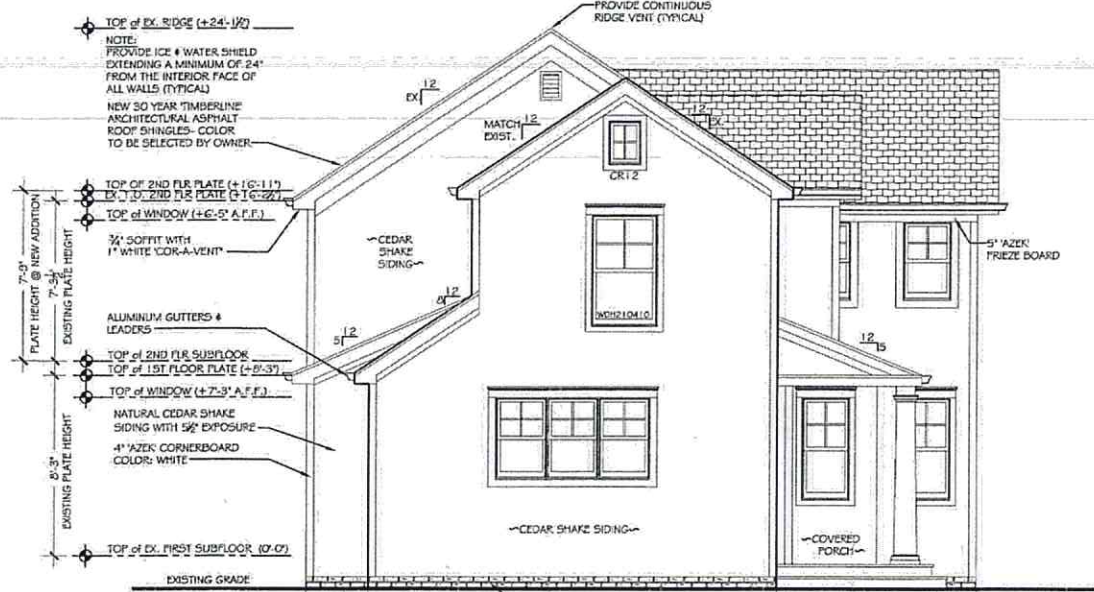
PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"