

NOTES & SPECIFICATIONS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THIS CONSTRUCTION DOCUMENT BOUND TOGETHER AT ALL TIMES. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO READ ALL NOTES, SPECIFICATIONS, AND BE FAMILIARIZED WITH THE PLANS FOR WORK.

GENERAL

1. NO WORK TO START UNTIL APPROVED PLANS ARE OBTAINED FROM THE PERMITS BUILDING DEPARTMENT.

2. ALL CONSTRUCTION SHALL BE PERFORMED IN A WORKMAN LIKE MANNER. ALL DIMENSIONS, CONDITIONS, AND APPLICABLE INFORMATION OF EXISTING STRUCTURE/SITE SHALL BE FIELD VERIFIED BY GENERAL CONTRACTOR.

3. ALL WORK SHALL CONFORM TO NATIONAL, STATE, AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

4. ALL UNNOTED OR NON-VISIBLE ELEMENTS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER.

5. ANY OMISSIONS OR DISCREPANCIES OF PLANS AND/OR JOB CONDITIONS SHALL BE CLARIFIED BY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

6. NO DEVIATIONS OR CHANGES TO THE STRUCTURAL SYSTEM SHALL BE MADE UNLESS APPROVED BY THE ARCHITECT/ENGINEER.

7. CONTRACTOR TO VERIFY DIMENSIONS OF FOUNDATION WITH FLOOR PLANS BEFORE THE START OF FRAMING.

8. DRY WELLS AS REQUIRED BY STATE AND LOCAL CODES.

9. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE.

10. OWNER/BUILDER ARE RESPONSIBLE FOR ALL INSPECTIONS, APPROVALS, CERTIFICATES, CERT. OF OCCUPANCY OR COMPLETION AND U.I. APPROVAL.

11. THESE SETS OF DRAWINGS ARE THE PROPERTY OF AMP ARCHITECTURE, AND SHALL NOT BE ALTERED OR BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

12. THE ARCHITECT IS NOT RETAINED FOR SUPERVISION OF THE WORK AND IS RESPONSIBLE FOR DESIGN INTENT ONLY.

13. THE CONTRACTOR SHALL OBTAIN CERTIFICATE OF OCCUPANCY.

14. THE CONTRACTOR SHALL KEEP PREMISES REASONABLY CLEAN AT ALL TIMES. AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL RUBBISH WASTE MATERIALS, TOOLS, ETC. CLEAN GLASS AND LEAVE WORK BROOM CLEAN.

15. THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION AND GENERAL LIABILITY INSURANCE. ALL SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES.

16. THE CONTRACTOR SHOULD FULLY GUARANTEE HIS WORK AND THE WORK OF THE SUB-CONTRACTORS FOR A PERIOD OF AT LEAST ONE YEAR AFTER COMPLETION OF PROJECT.

17. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT/ENGINEER, AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (A) IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF INCLUDING THE LOSS OR USE RESULTING THEREFROM) (B) IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR OR ANY OF HIS AGENTS, EMPLOYEES, SUB-CONTRACTORS, OR INDIVIDUALLY EMPLOYED BY ANY OF THEM, OR ANYONE FOR WHOM ACTS ANY OF THEM MAY BE LIABLE REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY IDENTIFIED HEREUNDER.

18. ALL MATERIALS, ASSEMBLIES, AND METHOD OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO FORMWORK, BLOCKWORK, FRAMING, NAILING, PLACING OF CONCRETE, ETC. ARE TO BE CAREFULLY SUPERVISED BY THE CONTRACTOR TO BE SURE THEY ARE IN ACCORDANCE WITH THE DRAWINGS SPECIFICATIONS, APPLICABLE CODES AND GOOD PRACTICE. DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT/ENGINEER.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHOP DRAWINGS NEEDED, UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS AND CONDITIONS PERTAINING ARE TO BE FIELD VERIFIED.

20. CONTRACTOR TO REMOVE & RELOCATE AS REQUIRED ALL EXISTING WORK WHICH INTERFERES WITH NEW CONSTRUCTION IN THE DRAWINGS MANNER.

21. ALL MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED OTHERWISE.

22. PROVIDE FIREBLOCKING AS PER NEW YORK ACCESSIBILITY STANDARDS.

23. PLEASE NOTE THAT THESE PLANS ARE PROTECTED AGAINST ANY UNAUTHORIZED USE UNDER FEDERAL LAW BY THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990 (AWCPA), WHICH HAS SEVERE PENALTIES.

CODES AND REFERENCE STANDARDS:

1. ALL NEW WORK PERFORMED SHALL CONFORM TO THE 2020 INTERNATIONAL BUILDING CODE AND 2020 PROPERTY MAINTENANCE CODE.

2. REFERENCE STANDARD USED FOR ALL WOOD FRAMING, CONNECTIONS OF WOOD FRAMING AND CONNECTION TO FOUNDATION - 2018 WOOD FRAME CONSTRUCTION MANUAL BY AF & PA.

3. ALL PLUMBING WORK SHALL CONFORM TO THE 2020 INTERNATIONAL PLUMBING CODE.

4. ALL MECHANICAL WORK SHALL CONFORM TO THE 2020 INTERNATIONAL MECHANICAL CODE AND 2020 INTERNATIONAL FUEL GAS CODE.

5. ALL ELECTRICAL WORK SHALL CONFORM TO 2017 NATIONAL ELECTRIC CODE, NFPA 70 AND 2020 INTERNATIONAL ENERGY CONSERVATION CODE.

INSULATION

1. EXTERIOR WALLS AND ROOFS SHALL BE INSULATED WITH FOIL FACED FIBERGLASS BATT INSULATION BY JOHN MANVILLE OR APPROVED EQUAL. FOIL TO BE PLACED TOWARD WARM SIDE.

2. PROVIDE 2" R-10 RIGID FOAM INSULATION FOR EXTERIOR FOUNDATION WALLS FROM 6" BELOW GRADE TO 24" BELOW GRADE IF DESIRED BY CONTRACTOR OR OWNER. CARE SHOULD BE TAKEN NOT TO DAMAGE FOUNDATION WATERPROOFING.

3. GENERALLY, UNLESS NOTED OTHERWISE, INSULATE AS FOLLOWS:

- 2" R-20 FOR PLAT CEILING
- 2" R-20 FOR VAULTED AND CATHEDRAL CEILING
- 3.5" R19 FOR 2"x4" WALL CONSTRUCTION
- 5.25" R-21 FOR 2"x6" WALL CONSTRUCTION
- 5.25" R-21 FOR FLOORS

FIRE AND SMOKE PROTECTION FEATURES

1. FIRE-RESISTANCE RATINGS OF BUILDING ELEMENTS, COMPONENTS, OR ASSEMBLIES SHALL BE DETERMINED IN ACCORDANCE WITH TEST PROCEDURES SET FORTH IN ASTM E119 OR UL 263, AS PER SECTION 105.3 OF THE 2020 INTERNATIONAL BUILDING CODE (IBC).

2. ALL NONCOMBUSTIBLE MATERIALS MUST MEET THE REQUIREMENTS OF SECTION 105.3 OF THE 2020 IBC.

3. ALL FIRE-RESISTANCE-RATED GLAZING SHALL BE IN ACCORDANCE WITH SECTION 105.6 OF THE 2020 IBC.

4. ANY ACCESSIBLE CONCEALED AREAS REQUIRING PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE PER SECTION 105.7 OF THE 2020 IBC.

5. THE FIRE RESISTANCE RATING OF PENETRATIONS AND JOINTS SHALL BE IN ACCORDANCE WITH SECTIONS T14 & T15 OF THE 2020 IBC, RESPECTIVELY.

6. ALL FIRE DOORS SHALL COMPLY WITH TABLE 716.5 OF THE 2020 IBC.

7. ALL FIRE WINDOWS SHALL COMPLY WITH TABLE 716.6 OF THE 2020 IBC.

8. FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 716 OF THE 2020 IBC. FIREBLOCKING AND DRAFTSTOPPING IS REQUIRED IN CONCEALED SPACES, CONCEALED SPACES BETWEEN HORIZONTAL VERTICAL SPACES, AND WITHIN CEILING & FLOOR ASSEMBLIES EXCEEDING 1000 S.F.

9. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 906 OF THE 2020 IBC. EXTINGUISHERS SHALL BE SIZED & LOCATED IN COMPLIANCE WITH TABLE 906.3(1) FOR ORDINARY HAZARD OCCUPANCY.

FOUNDATION, CONCRETE, AND MASONRY

1. CONTRACTORS TO VERIFY ALL DIMENSIONS OF EXISTING FOUNDATION AS IT APPLIES TO THE NEW WORK BEING PERFORMED AND SHALL COORDINATE THE SUB-CONTRACTORS IN SUCH A MANNER TO ASSURE THAT THE CONDITIONS OF THE FIRST AND SECOND FLOORS ARE TAKEN INTO ACCOUNT.

2. SEE STRUCTURAL ENGINEER DRAWINGS AND SPECIFICATIONS.

CARPENTRY

1. ALL LUMBER SHALL BE DOUGLAS FIR LARCH #2 & BETTER (P & B) UNLESS OTHERWISE NOTED.

2. ALL LUMBER IN CRACK SPACES TO BE 10" ABOVE SCRATCH COAT. MAINTAIN 2" MIN. FOUNDATION EXPOSURE.

3. SILLS TO BE 6" FT. AND SECURELY FLASHED WITH A TERMITE SHIELD. ALSO PROVIDE SILL SEAL/INSULATION. SIZE OF SILL TO BE (2) 2"x6" UNLESS (1) 2"x6" IS NECESSARY TO MATCH FLOOR HEIGHTS WITH THE EXISTING STRUCTURE.

4. AT FLUSH FRAMING USE 1/8" GAGE METAL JOISTS HANGERS BY TEGO OR EQUAL.

5. MINIMUM DOUBLE HEADERS AND TRIMMERS AROUND ALL OPENINGS IN FLOORS, ROOFS, AND WALLS.

6. DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS, POSTS, AND BATH TUBS.

7. ALL BEAMS, GIRDERS, ETC. TO HAVE MIN. OF 3/4"2" BEARINGS

8. MIN. HEADER TO BE (2) 2"x10" UNLESS OTHERWISE NOTED.

9. ALL WOOD SILLS AND MOOD IN CONTACT WITH MASONRY/CONCRETE TO BE P.T.

10. ALL EXTERIOR SHEATHING SHALL BE NAILED AS PER STRUCTURAL ENGINEER FASTENING SCHEDULE.

11. SUB FLOORING, GENERALLY, TO BE OF 3/4" THICKNESS AND OF CDX GRADE. NAILING AS PER ENGINEER.

12. EXTERIOR SHEATHING TO BE COVERED PER EXTERIOR WALL SECTIONS PAGES A-500 THRU A-505.

13. BLOCK EXTERIOR STUD WALLS AT HALF STORY HEIGHTS AND AT UNSUPPORTED EDGE BEAMS OF EXTERIOR SHEATHING.

14. PROVIDE "X" CROSS BRACING AT JOISTS, STUDS, AND RAFTERS WHEN SPANS EXCEED 8'-0" AND AT EVERY 8'-0".

15. TOP PLATES TO BE DOUBLED AND LAPRED AT CORNERS, SEE ALSO PAGE A-2.

16. APPLY ALL CONDITIONS ADDRESSED IN FASTENING SCHEDULE AS NECESSARY.

17. PROVIDE ALL NAILING AND STRAPPING ADDRESSED ON PAGES A-1 THROUGH A-3.

18. AT "MET WALL" PARALLEL TO JOISTS FRAME DOUBLE JOIST AS PER CODE. GENERALLY, SEPARATE DOUBLE JOIST THICKNESS OF WALL ABOVE. SUB FLOOR SHALL NEVER EXCEED A 16' SPAN.

19. AT ROUGH OPENINGS PROVIDE ALL APPLICABLE NAILING AND STRAPPING AS PER PAGE A-1 THROUGH A-3.

20. "P.T." SPECIFICS PRESERVATIVELY TREATED LUMBER IN ACCORDANCE W/ ANPA 222, WHERE DRILLING AND/OR CUTTING OCCURS. FIELD TREAT LUMBER W/ COPPER NAPHTHENATE WHICH SHALL CONTAIN 2% COPPER METAL BY REPEATED BRUSHING, DRIPPING, OR SOAKING UNTIL THE WOOD ABSORBS NO MORE. ALSO, FOR HANDRAILS USE WITH P.T. LUMBER.

21. L.V.L. (LAMINATED VENEER LUMBER) DENOTES EITHER OF THE FOLLOWING:

- A. TRUSS JOIST MILLILAM 1 HE MICROLAM
- B. GEORGIA PACIFIC 2.0E 3-P LAM

P.L. (PARALLEL STRAND LUMBER) DENOTES

- A. TRUSS JOIST MILLILAM 2.0E PARALLAM
- ALL TO BE INSTALLED AS PER MANU. SPEC'S

22. FOR NEW WALLS, REFERENCE STRUCTURAL DRAWINGS FOR DETAILS. ALSO, SEE EXTERIOR WALL DETAILS ON PAGES A-500 THRU A-505.

LIGHTING SYSTEM CONTROLS AND LIGHTING POWER

1. LIGHTING SYSTEM CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 409.2 OF THE 2017 IECC.

2. LIGHTING SYSTEM CONTROLS ARE NOT REQUIRED IN SECURITY AREAS REQUIRING CONTINUOUS LIGHTING, EXIT PASSAGEWAYS, AND FOR EMERGENCY EGRESS LIGHTING THAT IS NORMALLY OFF.

3. EITHER OCCUPANT SENSOR CONTROLS PER 2017 IECC 409.2.1 OR TIME-SWITCH CONTROLS PER 2017 IECC 409.2.2 SHALL BE PROVIDED IN ALL CONFERENCE/MEETING ROOMS, COPY/PRINT ROOMS, BREAK ROOMS, PRIVATE OFFICES, RESTROOMS, LOUNGES, STORAGE ROOMS, & CLOSETS.

4. OCCUPANT SENSOR LIGHTING CONTROLS MUST:

- AUTOMATICALLY TURN LIGHTS OFF AFTER 30 MINUTES OF OCCUPANTS LEAVING THE AREA
- BE MANUALLY ACTIVATED, OR BE AUTOMATICALLY "ON" TO NO MORE THAN 50% OF LIGHTING CAPACITY, UNLESS LIGHTING SYSTEM IS LOCATED IN A PUBLIC CORRIDOR, RESTROOM, OR PRIMARY BUILDING ENTRANCE.
- INCLUDE A MANUAL "OFF" CONTROL.

5. TIME-SWITCH LIGHTING CONTROLS MUST PROVIDE:

- A MINIMUM 7-DAY CLOCK
- CAPABILITY OF BEING SET FOR 7 DIFFERENT DAY TYPES PER WEEK
- AUTOMATIC HOLIDAY "SHUTOFF" FEATURE THAT CAN TURN OFF ALL LIGHTING FOR AT LEAST 24 HOURS, THEN RESUME NORMAL ACTIVITY
- PROGRAM BACKUP CAPABILITIES THAT PREVENTS THE LOSS OF PROGRAMMED SETTINGS FOR AT LEAST 10 HOURS IF POWER IS INTERRUPTED.
- MANUAL OVERRIDE FUNCTION THAT ALLOWS LIGHTS TO BE LEFT ON FOR A MAXIMUM OF 2 HOURS & CONTROLS A LIGHTING AREA NO GREATER THAN 5000 SQ. FT.
- CAPABILITY TO UNIFORMLY REDUCE LIGHTS BY AT LEAST 50% BY DOING AT LEAST ONE OF THE FOLLOWING:
 1. CONTROLLING ALL LIGHTS TOGETHER
 2. DIMMING SWITCHING OF ALTERNATE LIGHTS OR ROWS OF LIGHTS
 3. SWITCHING OF MIDDLE LIGHTS INDEPENDENTLY OF OUTER LIGHTS
 4. CONTROLS EACH LIGHT INDIVIDUALLY

6. DAYLIGHT RESPONSIVE CONTROLS PER 2017 IECC 409.2.3 SHALL BE PROVIDED IN ALL AREAS WITH Sidelight DAYLIGHT ZONES WITH A TOTAL OF MORE THAN 50 WATTS OF GENERAL LIGHTING. DAYLIGHT RESPONSIVE CONTROLS MUST ALLOW AN AUTHORIZED PERSONNEL TO READILY CALIBRATE THE CONTROLS AND TO DIM LIGHT TO AT LEAST 15% OF FULL CAPACITY.

7. EXTERIOR LIGHTING CONTROLS PER 2017 IECC 409.2.3 SHALL BE PROVIDED FOR LIGHTING IN ALL AREAS OTHER THAN EMERGENCY LIGHTING INTENDED TO BE AUTOMATICALLY OFF DURING BUILDING OPERATION. EXTERIOR LIGHTING CONTROLS MUST:

- PROVIDE CONTROL THAT AUTOMATICALLY TURNS OFF LIGHTING AS A FUNCTION OF AVAILABLE DAYLIGHT, AND FOR LIGHTING OF BUILDING FACADE/LANDSCAPE EITHER:
 1. AUTOMATICALLY SHUTS OFF THE LIGHTING AS A FUNCTION OF DAWN/DUSK AND A SET OPENING & CLOSING TIME, OR
 2. AUTOMATICALLY REDUCE LIGHTING POWER TO A MINIMUM OF 50% OF FULL CAPACITY FROM AT LEAST 12:00A-00AM FROM 1 HOUR AFTER BUSINESS CLOSING TO 1 HOUR BEFORE BUSINESS OPENING, OR DURING ANY PERIOD WHEN ACTIVITY HAS NOT BEEN DETECTED FOR MORE THAN 15 MINUTES.

8. INTERNALLY ILLUMINATED EXIT SIGNS SHALL NOT BE MORE THAN 5 WATTS PER SIDE, AS PER 2017 IECC 409.3.

9. WHERE ARTIFICIAL LIGHTING IS PRESENT, AN AVERAGE ILLUMINATION SHALL BE PROVIDED OF AT LEAST 10 FOOT CANDLES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 90" ABOVE FLOOR LEVEL, AS PER 2020 IBC 1029.3.

10. THIS BUILDING SHALL COMPLY WITH THE 2017 IECC "ADDITIONAL EFFICIENCY PACKAGE OPTION" PER 409.1 BY SATISFYING THE REDUCED INTERIOR LIGHTING POWER REQUIREMENT 409.3 AS DETERMINED USING THE SPACE-BY-SPACE METHOD AND TABLE 409.4(2).
11. THIS BUILDING SHALL COMPLY WITH EXTERIOR LIGHTING REQUIREMENTS AS PER 2017 IECC 409.3.

PORTOBELLO ROOF DECK

PROJECT SCOPE:

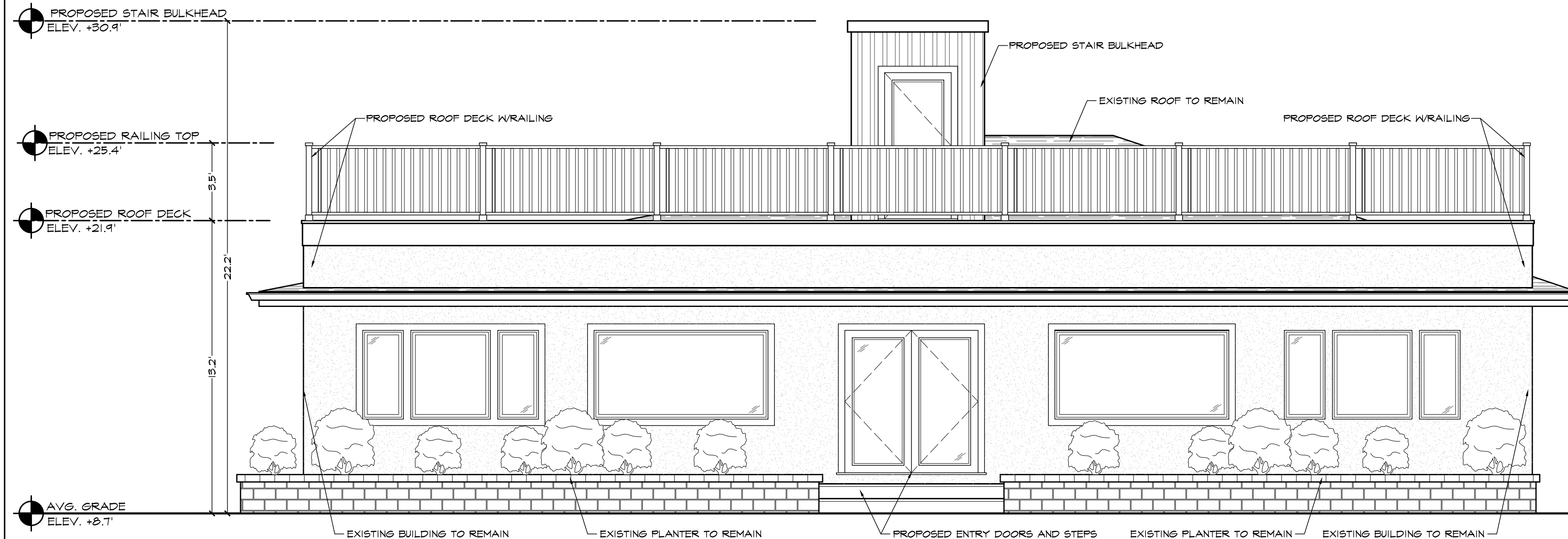
PROPOSED INTERIOR STAIR BULKHEAD AND ROOF DECK FOR OUTDOOR DINING.

PROJECT DATA:

PROJECT / ZONING DATA	
TAX MAP #	1001-3-1-1
ZONING DISTRICT	W-C WATERFRONT COMMERCIAL DISTRICT
LOT AREA	1.7 ACRES
FEMA FLOOD ZONE	X & AE6
HABITABLE SPACE	
FIRST FLOOR AREA	3,915 S.F. 3,915 S.F.
ROOF AREA	0 S.F. 1,000 S.F.

PAGE KEY:

G-001.00	PROJECT LOCATION & SCOPE GENERAL NOTES & ZONING DATA PROPOSED EXTERIOR ELEVATION
A-101.00	PROPOSED FIRST FLOOR PLAN
A-102.00	PROPOSED ROOF PLAN
A-103.00	EMERGENCY DEVICE PLANS EGRESS PLANS



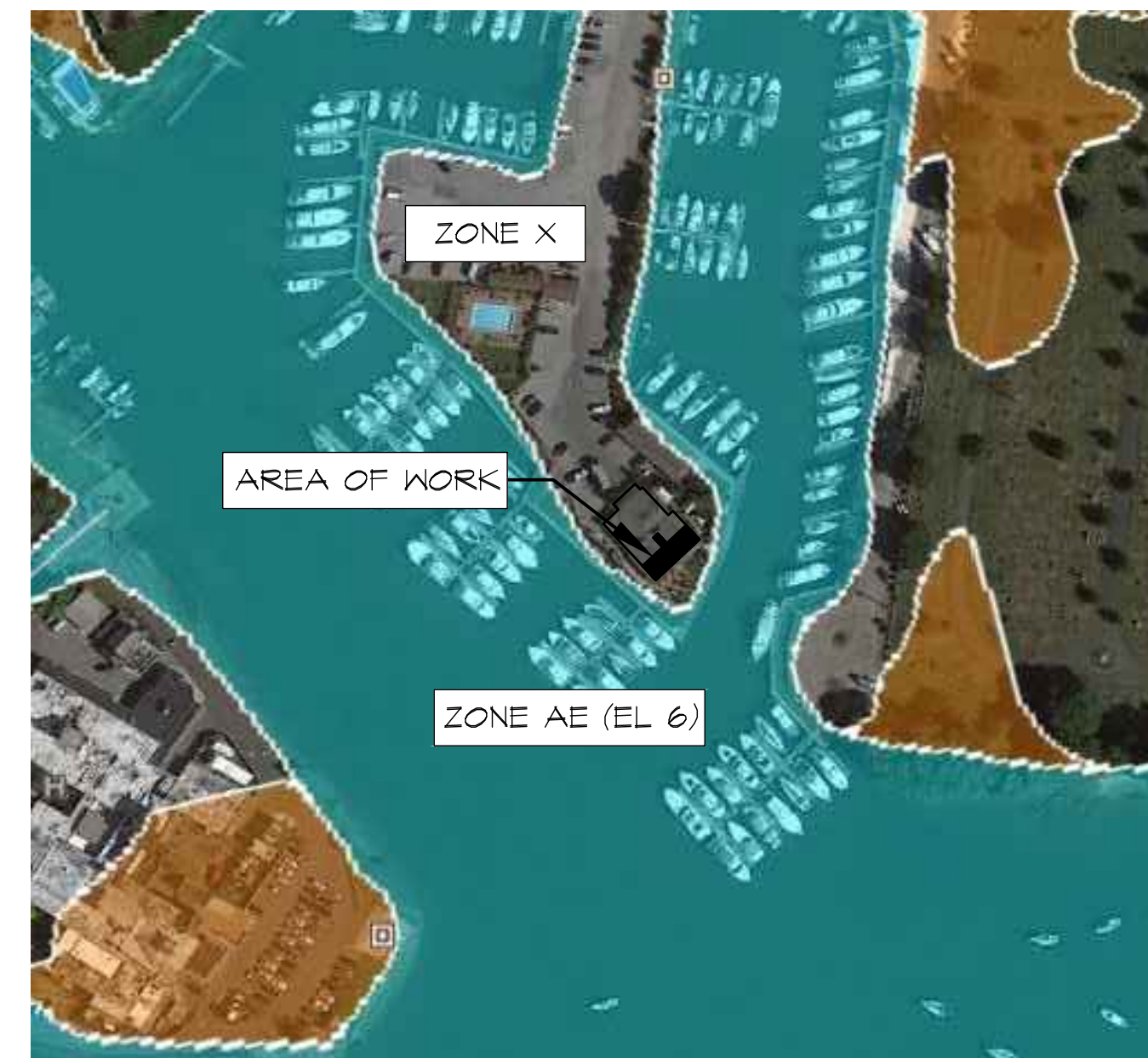
PROPOSED REAR (SOUTHEAST) ELEVATION



LOCATION MAP

NOTE:
FLOOD MAP DATA FROM FEMA MAP# 36103C016H
MAP DATE: 9/25/2004
FLOOD ZONE X & AE (EL. 6)

1. ELEVATIONS REFERENCE 1988



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1075 FRANKLINVILLE RD.
LAUREL, N.Y. 11948
01-516-214-0160

ARCHITECTURE
LLC

DATE:	REV.	COMMENTS:

PROJECT:

PORTOBELLO ROOF DECK

1410 MANHASET ROAD
GREENPORT, NY 11944

DRAWING TITLE:

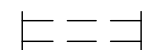
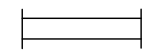


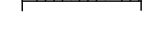


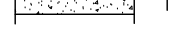
PROJECT LOCATION & SCOPE
SITE PLAN & ZONING DATA

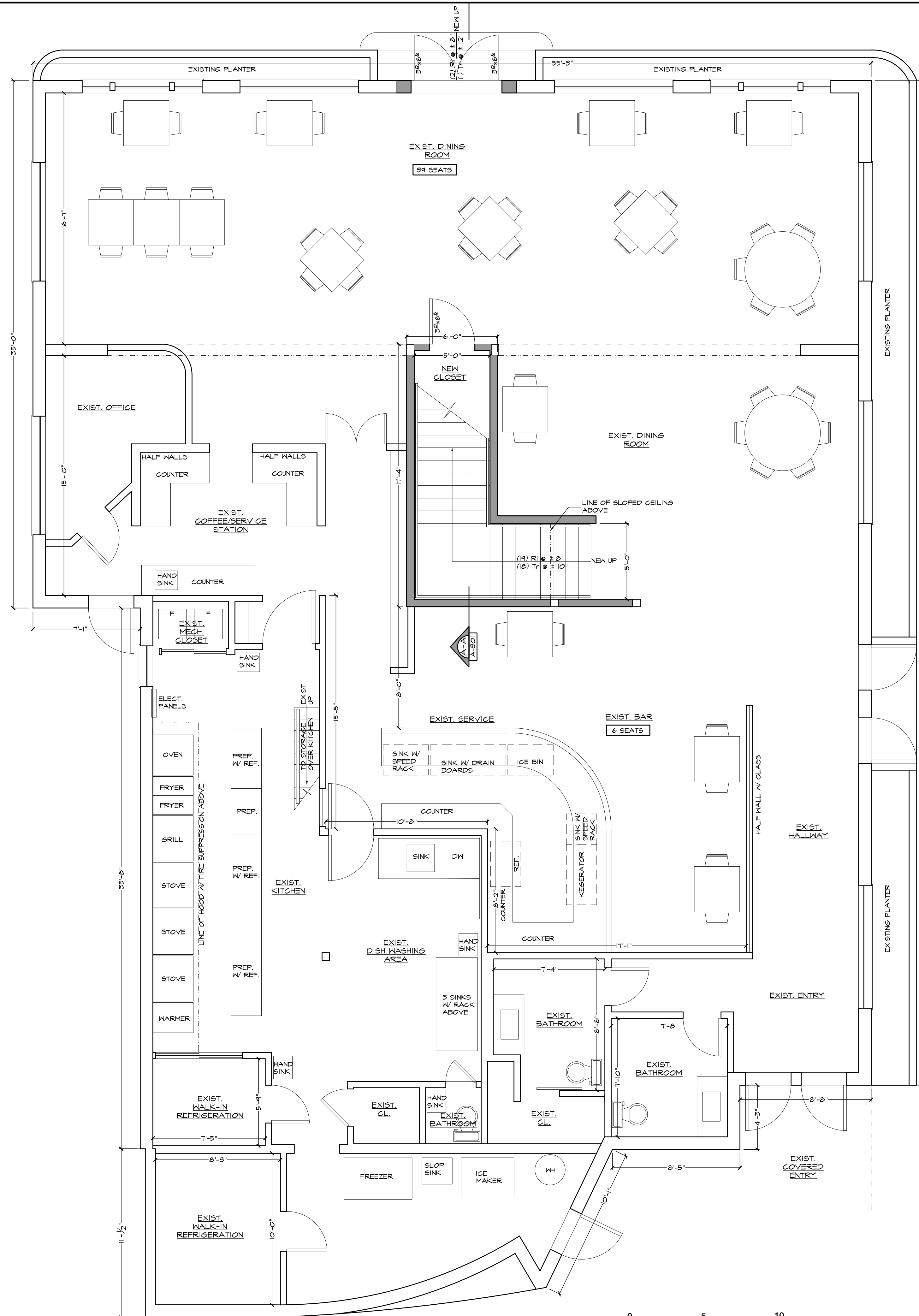
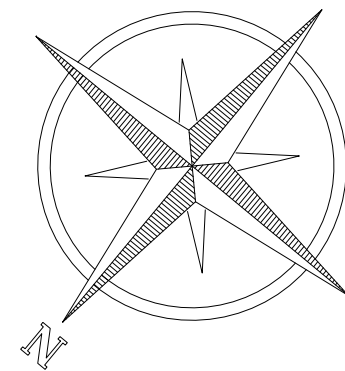
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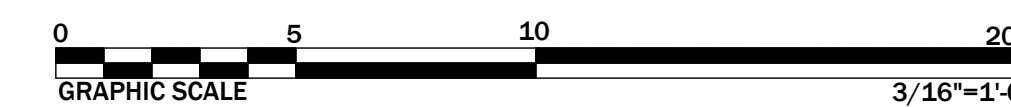
GENERAL SYMBOL KEY:

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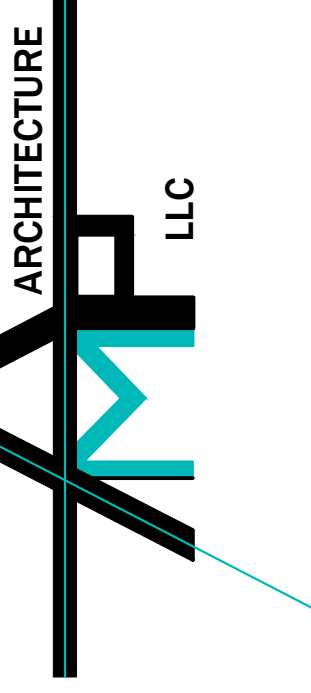
PROPOSED FIRST FLOOR PLAN

1,000 S.F. HABITABLE SPACE; 3,915 S.F. GROSS AREA



SCALE: 1/4" = 1'-0"

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REV.	COMMENTS

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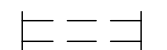
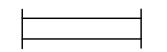


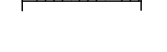


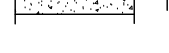
PROJECT:
PORTOBELLO ROOF DECK
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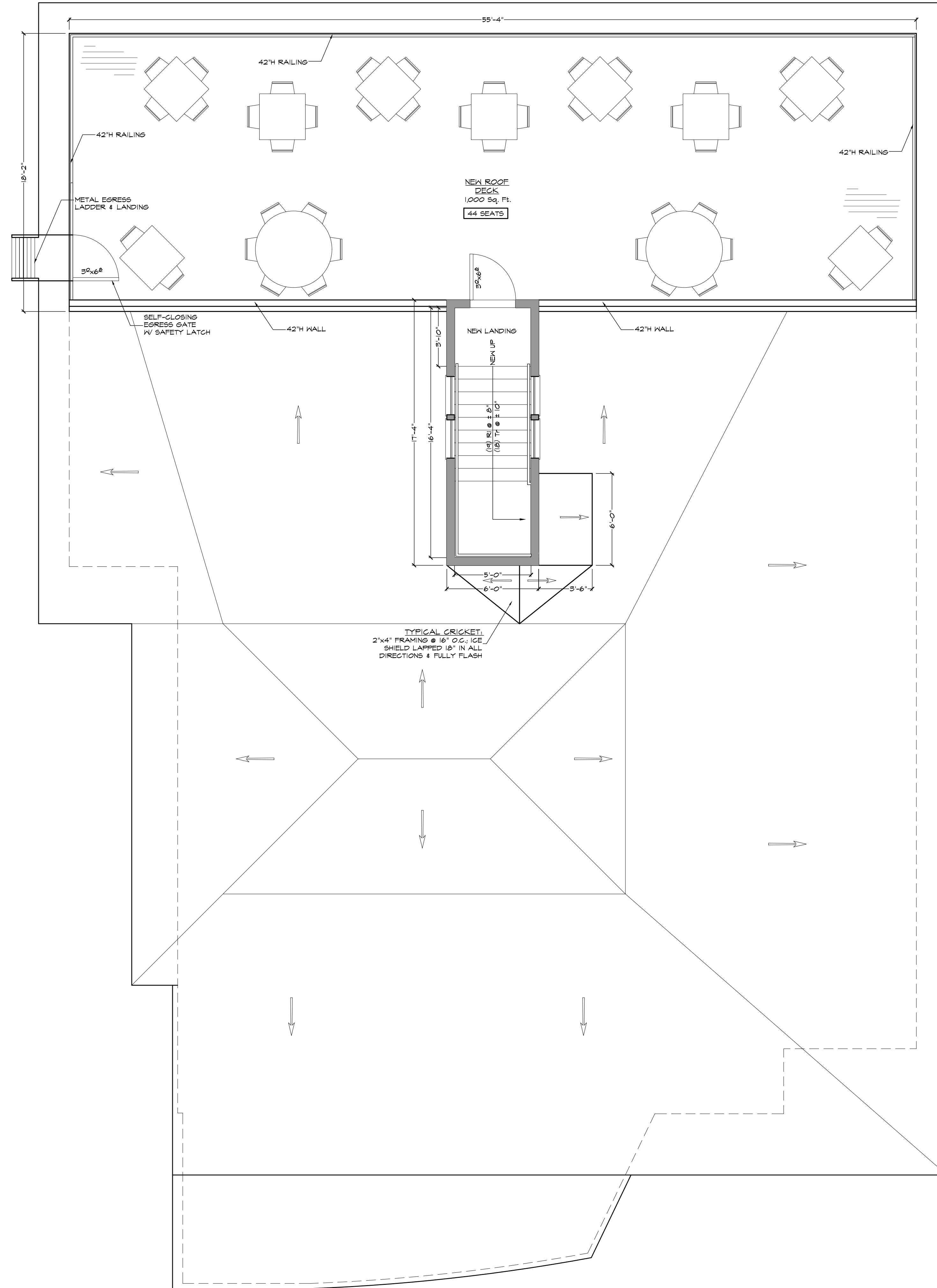
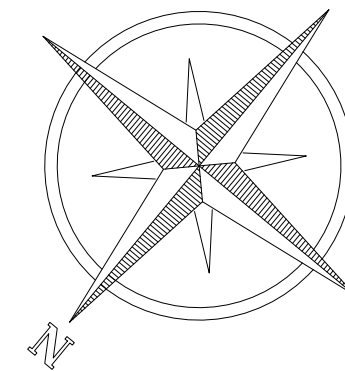
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 PROPOSED FIRST FLOOR PLAN

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DATE: 01/12/21 2 OF 4

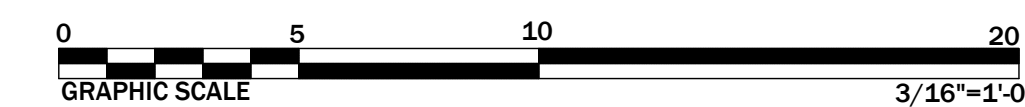
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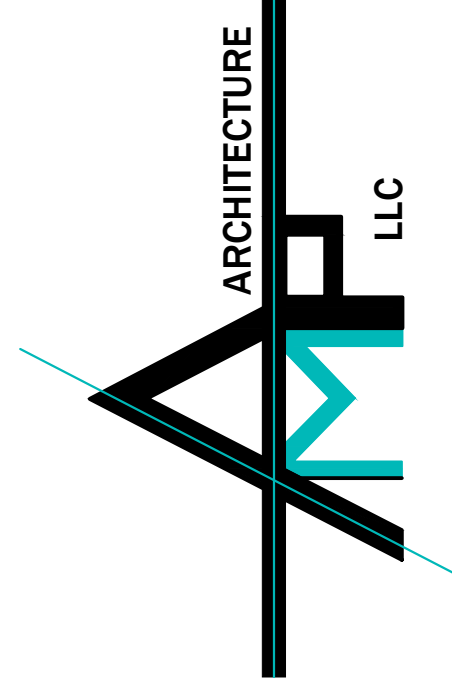
PROPOSED ROOF PLAN

0 S.F. HABITABLE SPACE; 1,000 S.F. GROSS AREA



SCALE: 1/4" = 1'-0"

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REV. COMMENTS
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