

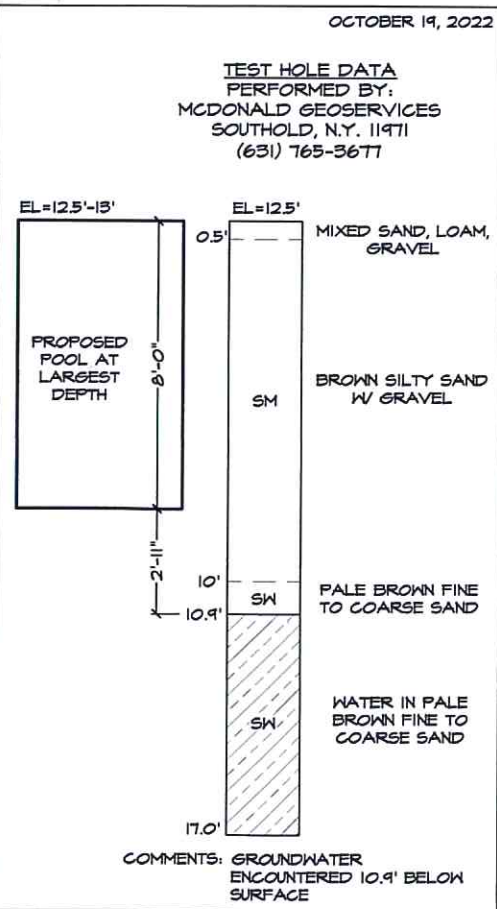
LOT COVERAGE		
GREENPORT VILLAGE CODE 150-12 (A)		
DESCRIPTION (FOOTPRINT)	AREA	% LOT COVERAGE
TOTAL LOT AREA	17,731.1 S.F.	
EXISTING DWELLING	713.4 S.F.	4.0%
REBUILT FRONT PORCH & STEPS	130.5 S.F.	0.7%
PROPOSED DWELLING ADDITIONS	735.2 S.F.	4.1%
PROPOSED INGROUND SWIMMING POOL	480.0 S.F.	2.7%
PROPOSED OUTDOOR SHOWER	40.9 S.F.	0.2%
TOTAL AREA OF ALL STRUCTURES	2,100.0 S.F.	11.8%
GREENPORT VILLAGE MAXIMUM LOT COVERAGE ALLOWED: 30%		
IMPERVIOUS SURFACES NOT REQUIRED BY CODE FOR VILLAGE COVERAGE		
REBUILT BILCO DOORS	28.8 S.F.	0.2%
PROPOSED AC CONDENSER PAD	18.0 S.F.	0.1%
PROPOSED POOL EQUIPMENT PAD	32.0 S.F.	0.2%
TOTAL LOT COVERAGE	2,178.8 S.F.	12.3%
NYS DEC MAXIMUM LOT COVERAGE ALLOWED: 20%		

DRAINAGE CALCULATIONS - MAIN DWELLING	
NEW IMPERVIOUS SURFACE AREA	1,579.1 S.F.
2" RAINFALL EVENT	268.4
42.2 CUFT. VOLUME PER FOOT OF 8" POOL	6.4 S.F.
PROVIDE (1) 8" X 4' DEEP DRYWELL & (1) 8" X 3' DEEP DRYWELL	

DRAINAGE SYSTEM INSTALLATION NOTES:

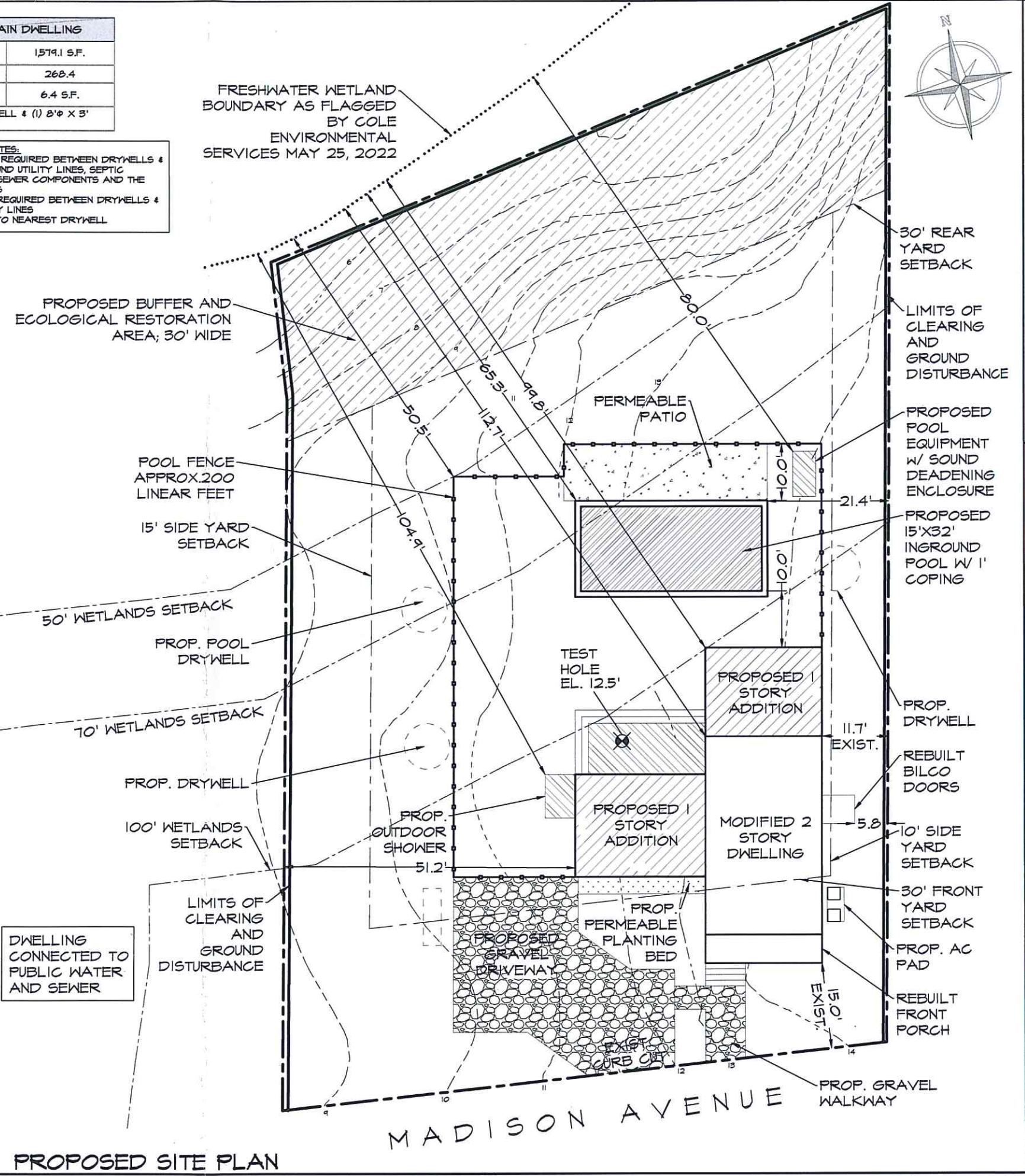
- A MINIMUM OF 10' SEPARATION IS REQUIRED BETWEEN DRYWELLS & WATER SERVICE LINE, UNDERGROUND UTILITY LINES, SEPTIC COMPONENTS, LEACHING FIELDS, SEWER COMPONENTS AND THE EDGE OF ALL FOUNDATION WALLS
- A MINIMUM OF 5' SEPARATION IS REQUIRED BETWEEN DRYWELLS & CONCRETE SLABS AND PROPERTY LINES
- CONNECT ALL GUTTER LEADERS TO NEAREST DRYWELL

APPROX. 1,030 S.F. GRAVEL DRIVEWAY & WALKWAYS



SITE LAYOUT NOTES:

- THIS IS AN ARCHITECT'S SITE PLAN & IS SUBJECT TO VERIFICATION BY A LICENSED SURVEYOR. THE INFORMATION REPRESENTED ON THIS SITE PLAN IS TO THE ARCHITECT'S BEST OF KNOWLEDGE.
- SURVEY INFORMATION WAS OBTAINED FROM A SURVEY DATED MAY 5, 2022 AND PREPARED BY:
KENNETH M. WOYCHUK
LAND SURVEYING, PLLC
PO BOX 153
AGUEBOGUE, N.Y. 11931
TELEPHONE: (631) 298 1588



PROPOSED SITE PLAN



MARK UP DATE: _____

COMMENTS: _____

THESE PLANS ARE FOR DESIGN PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. THE DESIGNS PRESENTED HEREIN ARE THE PROPERTY OF AMP ARCHITECTURE, LLC AND SHALL NOT BE DUPLICATED WITHOUT WRITTEN AUTHORIZATION FROM ANTHONY PORTILLO, RA, LEED AP. THESE PLANS ARE PROTECTED AGAINST ANY UNAUTHORIZED USE UNDER FEDERAL LAW BY THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990 (AWCPA), WHICH HAS SEVERE PENALTIES.

PROPOSAL FOR:
67 SOUND CHESHIRE RENOVATION
520 MADISON AVENUE
GREENPORT, N.Y. 11944




DATE: 06/29/23

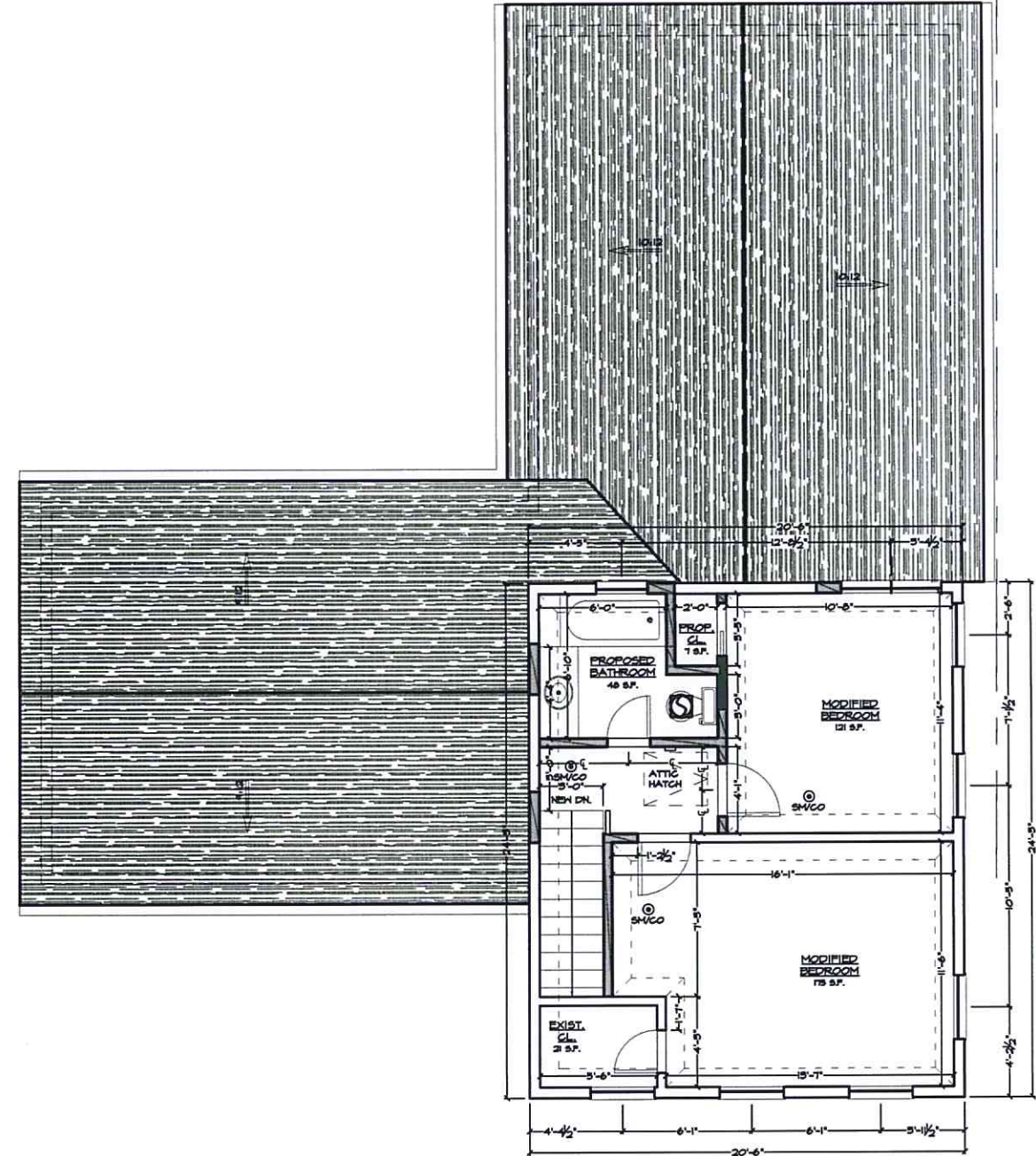
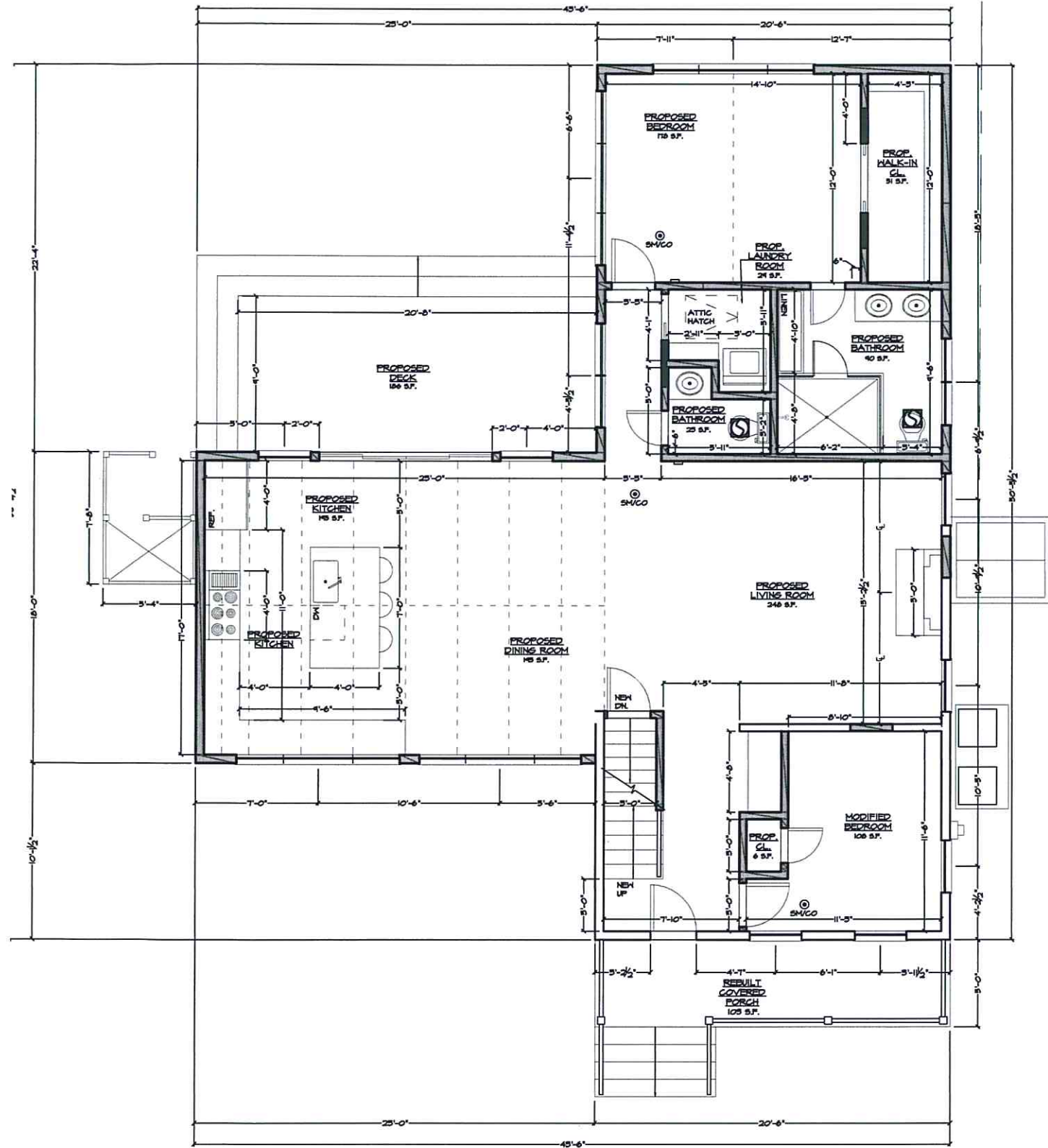
PAGE: **SD-1**

SCALE: 1" = 20'-0"

AMP Architecture
Design + Build

GENERAL SYMBOL KEY:

-  EXISTING TO REMAIN
-  NEW FOUNDATION WALL
-  NEW HOOD FRAME



MARK UP DATE: _____

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AMP Architecture
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PROPOSAL FOR:
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DATE: 06/29/23

PAGE: SD-2





SOUTH ELEVATION (FRONT)

SCALE: 1/8" = 1'-0"



EAST ELEVATION (RIGHT SIDE)

SCALE: 1/8" = 1'-0"



NORTH ELEVATION (REAR)

SCALE: 1/8" = 1'-0"



WEST ELEVATION (LEFT SIDE)

SCALE: 1/8" = 1'-0"



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


AMP Architecture
Design + Build

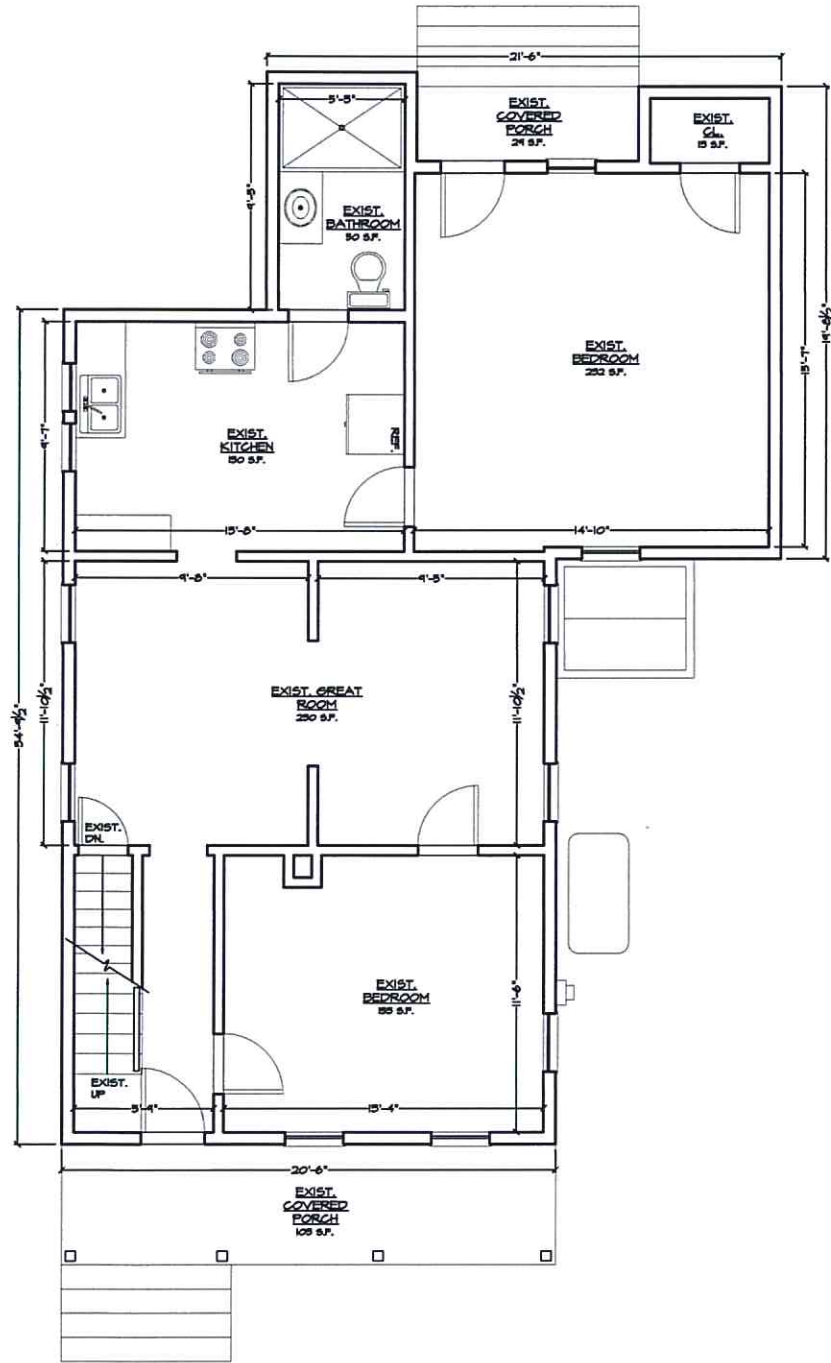
PROPOSAL FOR:
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PAGE: SD-3

GENERAL SYMBOL KEY:

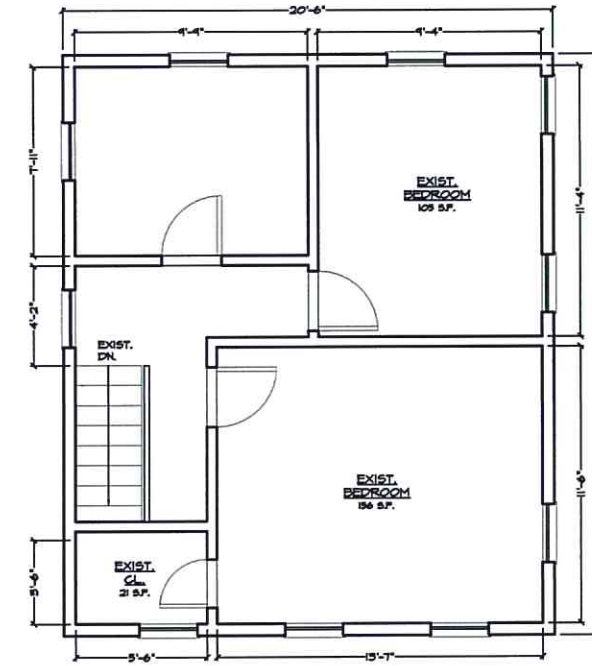
-  EXISTING TO REMAIN
-  NEW FOUNDATION WALL
-  NEW HOOD FRAME



EXISTING FIRST FLOOR PLAN

986 S.F. GROSS AREA

SCALE: 1/8" = 1'-0"



EXISTING SECOND FLOOR PLAN

497 S.F. GROSS AREA

SCALE: 1/8" = 1'-0"



MARK UP DATE: _____

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AMP Architecture
Design + Build

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RENOVATION**
520 MADISON AVENUE
GREENPORT, N.Y. 11944

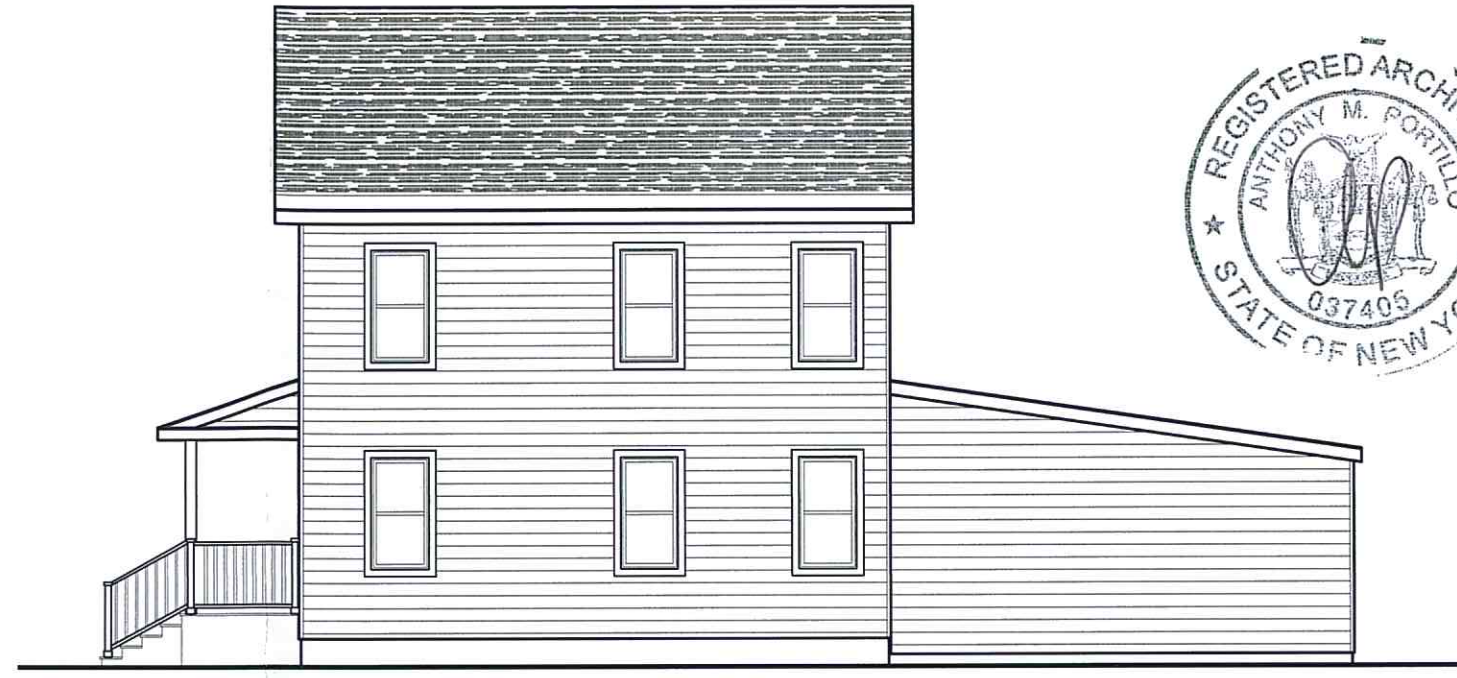
DATE: 06/29/23

AGE: **SD-E1**



SOUTH ELEVATION (FRONT)

SCALE: 1/8" = 1'-0"



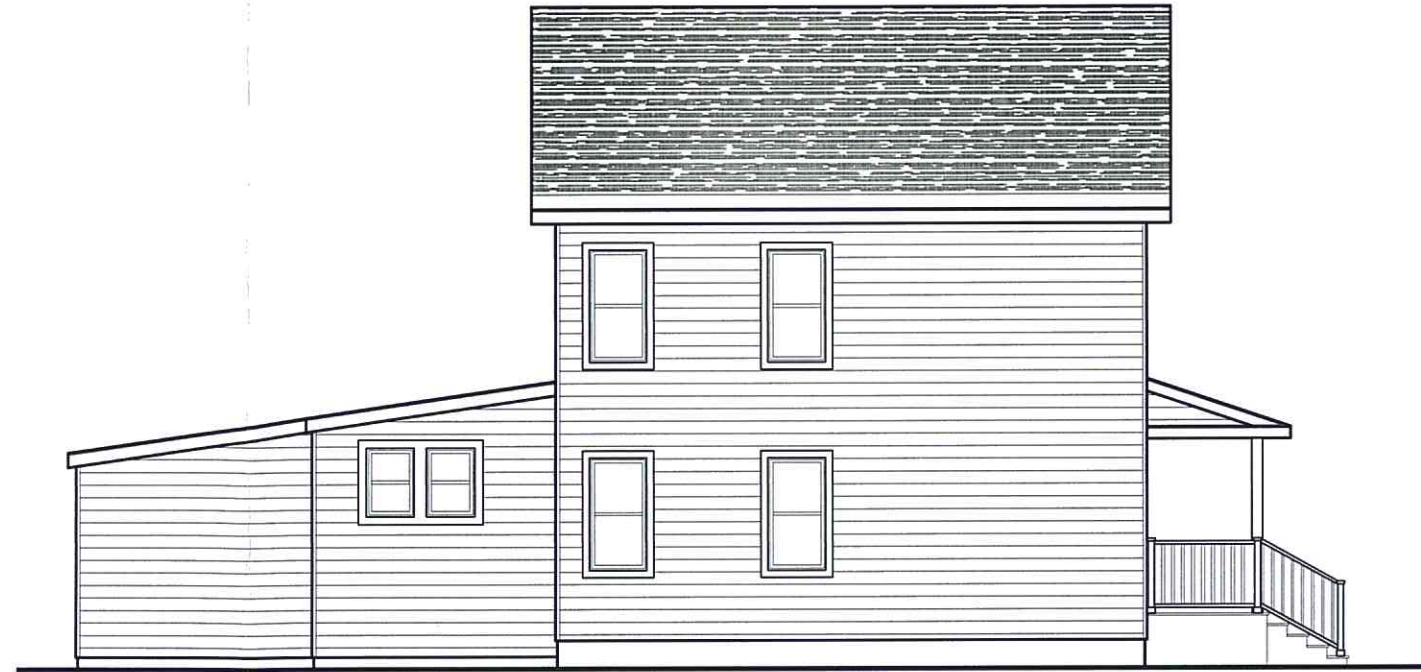
EAST ELEVATION (RIGHT SIDE)

SCALE: 1/8" = 1'-0"



NORTH ELEVATION (REAR)

SCALE: 1/8" = 1'-0"



WEST ELEVATION (LEFT SIDE)

SCALE: 1/8" = 1'-0"

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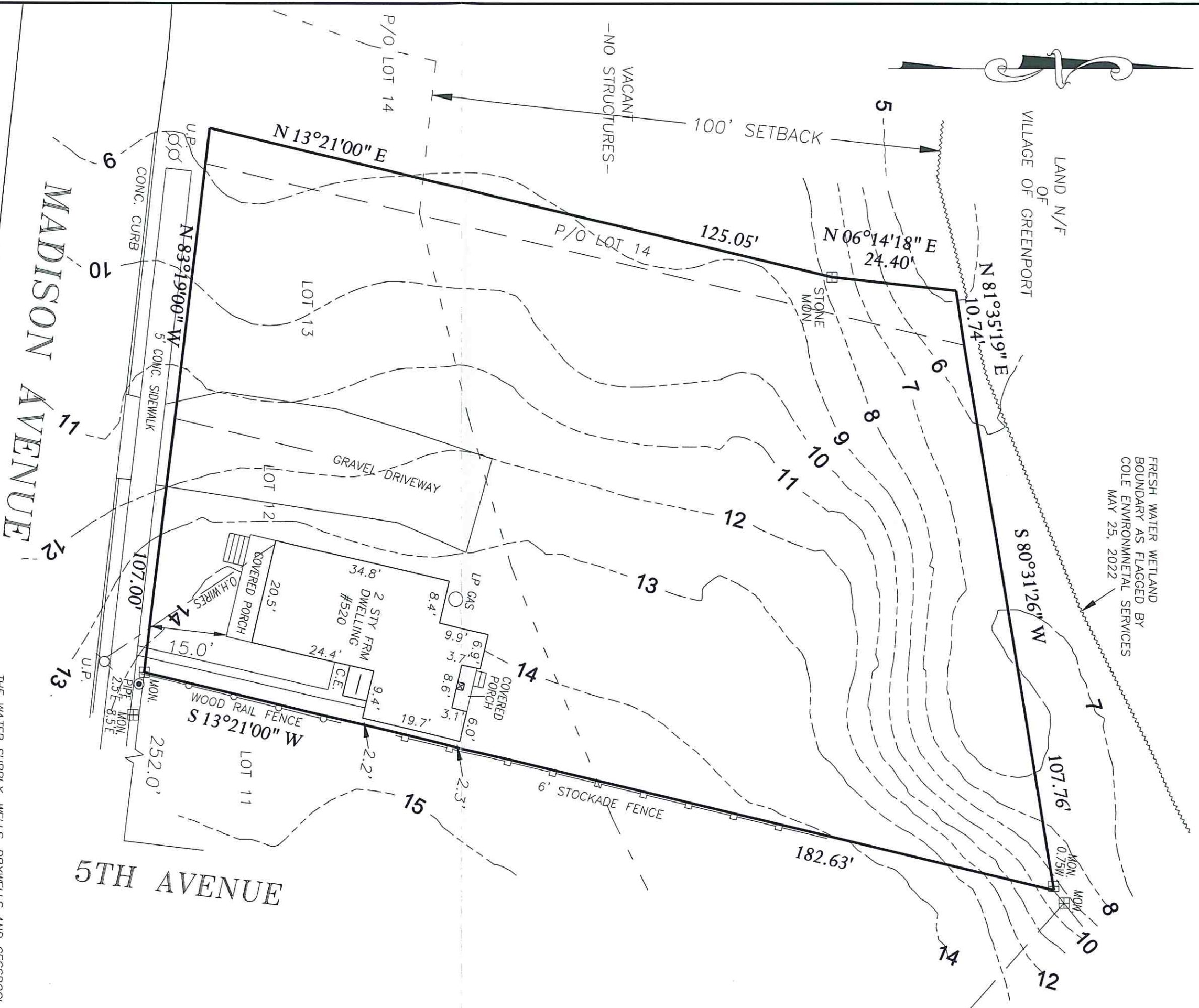
PROPOSAL FOR:
**67 SOUND CHESHIRE
RENOVATION**
520 MADISON AVENUE
GREENPORT, N.Y. 11944

DATE: 06/29/23

PROJECT: **SD-E2**

LAND N/F
OF
VILLAGE OF GREENPORT

FRESH WATER WETLAND
BOUNDARY AS FLAGGED BY
COLE ENVIRONMENTAL SERVICES
MAY 25, 2022



AREA: 17731.08 S.F. or 0.41 ACRES

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. GUARANTEES INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION, GUARANTEES ARE NOT TRANSFERABLE.

THE OFFSETS OR DIMENSIONS SHOWN HEREON FROM THE PROPERTY LINES TO THE STRUCTURES ARE FOR A SPECIFIC PURPOSE AND USE THEREFORE THEY ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES, ADDITIONAL STRUCTURES OR AND OTHER IMPROVEMENTS. EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF SURVEY

SURVEY OF: LOTS 12 & 13

MAP OF: CHARLES COLTON AND CLARENCE C. NILES

FILED: JUNE 20, 1892 No.469

SITUATED AT: VILLAGE IOF GREENPORT

TOWN OF: SOUTHOLD

SUFFOLK COUNTY, NEW YORK

FILE # 221-155 SCALE: 1"=30' DATE: MAY 5, 2022



CERTIFIED TO: 67 SOUND CHESHIRE LP;

KENNETH M WOYCHUK LAND SURVEYING, PLLC
Professional Land Surveying and Design
P.O. Box 153 Aquabogue, New York 11931
PHONE (631)298-1588 FAX (631) 298-1588
maintaining the records of Robert J. Hennessy & Kenneth M. Woychuk