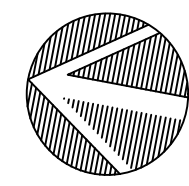


SITE PLAN



NOTE ALL STRUCTURES EXISTING EXCEPT AS NOTED

BASED ON SURVEY BY:
LEHR LAND SURVEYORS, LIVERPOOL NY.
DATED MARCH 22, 2018
SCTM No.: 1001-5-4-25, 38.1, 39
TOTAL AREA: 95,058 S.F. = 2.182 A.
ZONE: WC

LOT COVERAGE:
EXISTING: 15,037.3
ADDITIONAL CANOPY OVER EXISTING WHARF: 1,136 SF
TOTAL COVERAGE: 16,173.3 / 95,058 = 17.0%

PARKING:
837 SEATS REQUIRES 279 PARKING SPACES. PER SECT. 150-12C OF THE VILLAGE CODE, THIS PROPERTY IS EXEMPT FROM OFF-STREET PARKING REQUIREMENTS
106 SPACES PROVIDED+MOTORCYCLE PARKING (PREVIOUSLY 99 SPACES)

ISSUES / REVISIONS	<p>m-USE Architects, PLLC 611 Broadway, Rm 721 New York, NY 10012 tel: 212.391.1580 e: ts@m-use.com</p> <p>Robert I. Brown Architect, P.C. 205 Bay Ave. Greenport, NY info@ribrownarchitect.com 631-477-9752</p>	<p>CLIENT / OWNER CLAUDIO'S PWIB CLAUDIO'S MANAGEMENT 700 BROADWAY, NEW YORK, NY 10003</p> <p>PROJECT CANOPY EXTENTION 111 MAIN STREET GREENPORT, NY 11944</p>	<p>DRAWING TITLE SITE PLAN</p>	<p>DRAWING No. A1</p> <p>DATE Dec. 16, 2022</p> <p>SCALE 1" = 20'</p>
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MISC. GENERAL NOTES

- THIS PROJECT IS CONSTRUCTION OF ADDITION TO A METAL CANOPY STRUCTURE TO CONTINUE TO BE USED AS AN OPEN AIR BAR (OCCUPANCY A-2)
- THE HEIGHT OF THE NEW BUILDING WILL BE WILL MATCH THE EXISTING CANOPY STRUCTURE.
- THE FLOOR AREA COVERED BY THE NEW CANOPY IS 1,158 SQ.FT. THE PROPOSED CONSTRUCTION IS STEEL STRUCTURE WITH FIRE-RETARDANT FABRIC ROOF AND WALLS.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 BUILDING CODE OF N.Y.S., ELECTRICAL CODE OF N.Y.S., FIRE CODE OF N.Y.S., EXISTING BUILDING CODE OF N.Y.S. AND THE MECHANICAL CODE OF N.Y.S. AND ASCE7.
- DESIGN LOAD CALCULATION ARE BASED ON:
LIVE LOAD: 60 PSF AS PER TABLE 1607.1, BUILDING CODE OF NEW YORK STATE.
DEAD LOAD: AS EXISTING.

SEISMIC DESIGN CATEGORY B.
WIND UPLIFT AND EXPOSURE CATEGORY "C", FOR 120 MPH 3 SECOND GUST.

LOCATION	LIVE	DEAD	DEFLECT LIMIT
1st Fl.	100 PSF	12 PSF	L/360
2nd Fl.	100 PSF	12 PSF	L/360
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIC USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
- CONTRACTOR(S) SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT SHOWN LISTED, OR DESCRIBED ON THESE DRAWINGS SUBJECT TO QUALIFICATIONS, CONDITIONS, OR EXCEPTIONS AS NOTED. CONTRACTOR SHALL FURNISH ALL LABOR, SCAFFOLDING, AND TOOLS NECESSARY TO COMPLETE THE WORK.
- ALL MATERIAL SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS, APPROVALS AND CERTIFICATE OF OCCUPANCY.

DEMOLITION

- CONTRACTOR SHALL DEMOLISH PARTS OF EXISTING STRUCTURE AS INDICATED, AND REMOVE DEBRIS.
- CONTRACTOR SHALL DO ALL PATCHING REQUIRED DUE TO REMOVAL OF EXISTING WORK AND/OR INSTALLATION OF NEW WORK.
- ALL NEW WORK SHALL MATCH AND MEET FLUSH TO EXISTING WORK AS CLOSELY AS POSSIBLE UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURE AND INTERIORS TO REMAIN SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING SERVICES TO REMAIN AND SHALL NOTIFY ALL UTILITIES AND TELEPHONE SERVICES AND MAKE ARRANGEMENTS FOR HOOKUP, REMOVAL, OR CAPPING OF EQUIPMENT AS NECESSARY.

FOUNDATIONS

N/A

GENERAL CONSTRUCTION

- PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL WOOD AND PLASTIC WORK REQUIRED BY THE DRAWINGS AS SPECIFIED HEREIN, OR REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK.
- INTERIOR TRIM SHALL MATCH EXISTING.
- FRAMING ELEMENTS:
 - ALL FRAMING LUMBER SHALL BE GRADE STAMPED DOUGLAS FIR-LARCH STRUCTURAL GRADE NO. 2 OR BETTER.
 - ALL HEADERS 6'-0" AND OVER SHALL BE SUPPORTED WITH DOUBLE UPRIGHTS, 9'-0" AND OVER WITH TRIPLE UPRIGHTS. ALL HEADERS SHALL BE A MIN. OF (2)2"x8" OR AS SHOWN ON DRAWING.
 - ALL FLUSH WOOD CONNECTIONS SHALL BE FASTENED WITH RATED GALVANIZED METAL CONNECTORS BY "SIMPSON" OR APPROVED EQUAL.
 - NAILING SCHEDULE SHALL BE AS PER N.Y.S. BUILDING CODE AS A MINIMUM. ALL 2"x6" STUDS SHALL RECEIVE 5 10d NAILS AT SILL AND PLATE. ALL EXTERIOR NAILS SHALL BE GALVANIZED.
 - PLYWOOD SHEATHING TO BE NAILED @ 4" O.C. EXTERIOR EDGES AND 6d NAILS @ 12" O.C. INTERMEDIATE.
 - ALL INTERIOR AND EXTERIOR FINISHES TO BE SELECTED BY OWNER.
- LOAD PATHS ARE INDICATED BY SECTION DRAWINGS.
- NEW INTERIOR DOORS SHALL MATCH EXISTING.
- NEW HARDWARE SHALL MATCH EXISTING.
- GYPSON BOARD SHALL BE EASED EDGE TYPE, CONFORMING TO ASTM C36, AND SHALL BE "SHEETROCK SW" BY U.S. GYPSON CO. OR APPROVED EQUAL. GYPSON WALLBOARD THICKNESS SHALL BE EQUAL. GYPSON WALLBOARD SHALL BE TAPED AND SPACKLED THREE (3) COATS. ALL EXTERIOR CORNERS SHALL HAVE METAL CORNER BEADS.

FINISHES

- ALL FINISHES SHALL MATCH EXISTING.

HVAC

- N/A

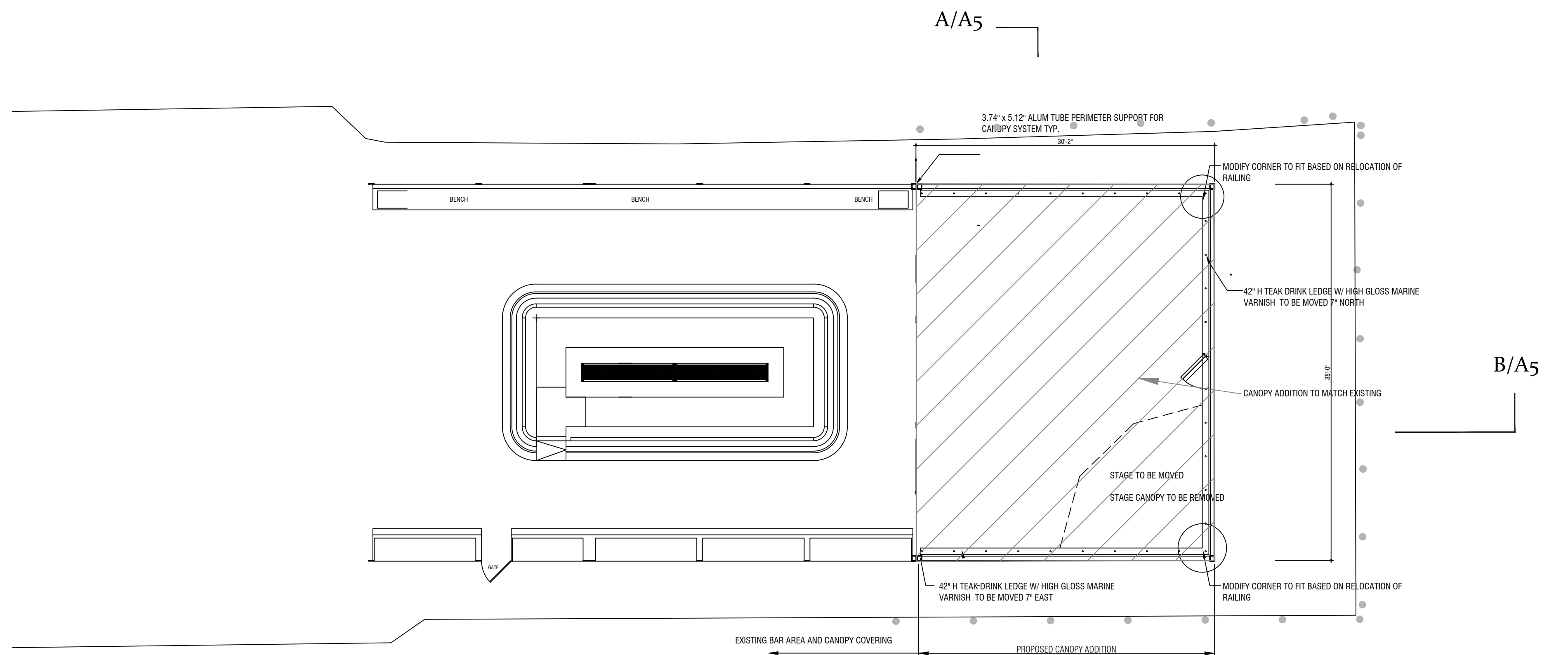
PLUMBING

- N/A

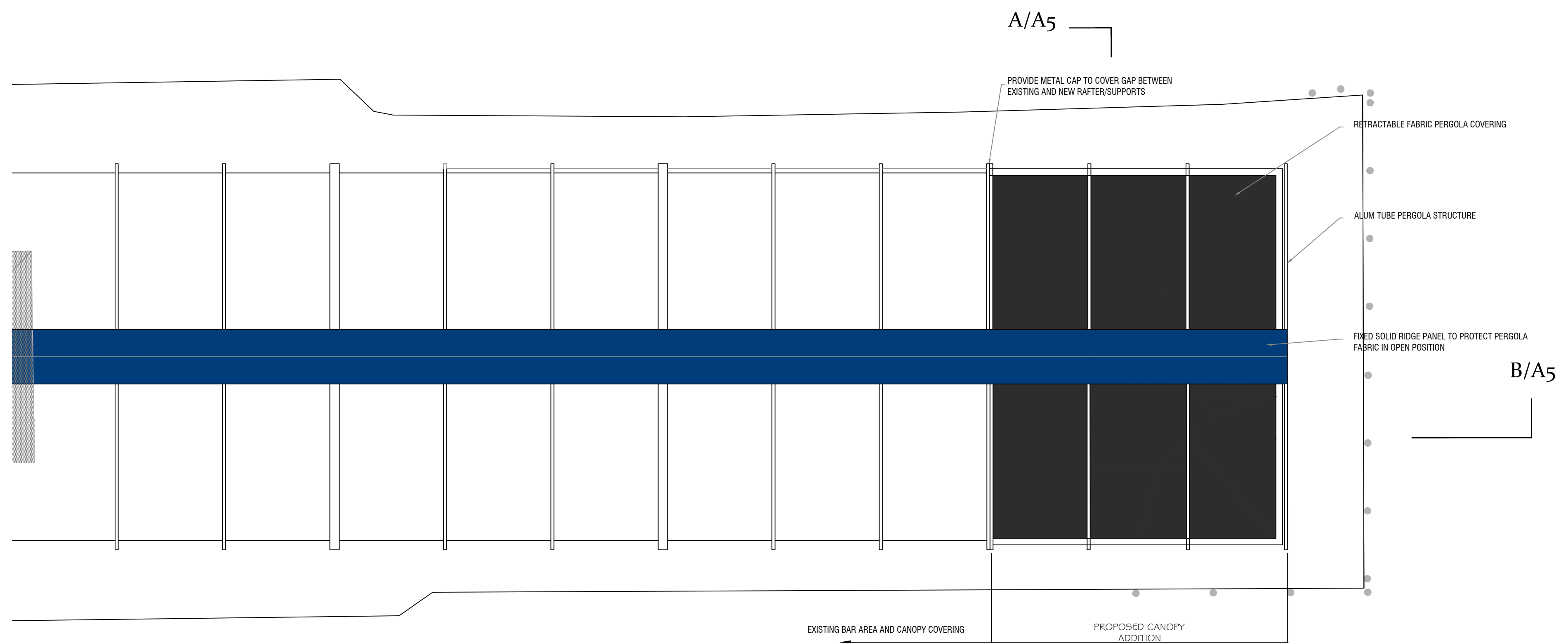
CLIMATIC AND GEOGRAPHIC CRITERIA		
GROUND SNOW LOAD	20 PSF	(PER SEC. 1608 BCNYS)
WIND SPEED	120 MPH	(PER SEC. 1609 BCNYS)
SEISMIC DESIGN CATEGORY	B	(PER SECT. R301.2(2) BCNYS)
WINTER DESIGN TEMP	11°F	(PER TABLE N101.2)
FLOOD ZONE	(N/A)	(PER FEMA MAP)
FROST LINE DEPTH	36"	
DESIGN LOAD CALCULATIONS (UNIFORM LIVE LOADS)		
ASSEMBLY/HOUSE OF WORSHIP	60 PSI	(PER TABLE 1607.1 BCNYS)

ELECTRICAL

- FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PLANT, TOOLS, AND SERVICES NECESSARY AND REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF ALL NEW ELECTRICAL SYSTEMS AND RELATED WORK INDICATED, INCLUDING BUT NOT LIMITED TO: CONNECTIONS TO PREVIOUSLY INSTALLED ELECTRICAL SYSTEMS, WIRING, LIGHTING SERVICES, FEEDERS, DISTRIBUTION AND PROTECTION EQUIPMENT, CONNECTIONS TO APPLIANCES, GROUNDING, AND ALL INCLUDING ALL CONNECTIONS AND DEVICES WITHIN THE SCOPE OF THE WORK AS SHOWN ON THE APPLICABLE DRAWINGS AND AS NORMALLY SPECIFIED IN THIS TYPE OF PROJECT AND INCLUDING CONNECTIONS TO PREVIOUSLY INSTALLED TRANSFORMERS AND ELECTRICAL DISTRIBUTION SYSTEMS.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE 2020, NFPA NO. 70 LOCAL UTILITY STANDARDS, OCCUPATIONAL SAFETY AND HEALTH AGENCY (OSHA), THE NATIONAL ELECTRICAL MANUFACTURERS' ASSOCIATION (NEMA) AND ANY OTHER APPLICABLE CODES. IN THE EVENT OF CONFLICT, THE MORE STRINGENT REQUIREMENTS WILL APPLY.
- ALL PRODUCTS USED FOR ELECTRICAL WORK SHALL BEAR THE UNDERWRITERS LABORATORIES, INC. LABEL AND BE SUITABLE FOR THE ENVIRONMENT IN WHICH THEY WILL BE INSTALLED.
- ALL WORK ON THE ELECTRICAL SYSTEM SHALL BE PERFORMED BY OR UNDER THE SUPERVISION OF A PROPERLY LICENSED MASTER ELECTRICIAN.
- THE CONTRACTOR SHALL OBTAIN, SUBMIT, AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS AS REQUIRED BY THE LOCAL, STATE, AND FEDERAL AUTHORITIES, AND ANY OTHER APPLICABLE JURISDICTION.
- CARBON MONOXIDE DETECTORS IN CONFORMANCE WITH APPLICABLE CODES SHALL BE CONNECTED TO THE LIGHTING CIRCUITS WITH NO INTERVENING WALL SWITCH, LINE CORD-CONNECTED, DIRECT PLUG-IN, AND BATTERY POWERED ALARMS ARE NOT ACCEPTABLE. ALARMS SHALL BE INSTALLED ON EACH LEVEL ON WHICH SLEEPING QUARTERS ARE LOCATED.
- SMOKE DETECTORS AND FIRE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE CODES



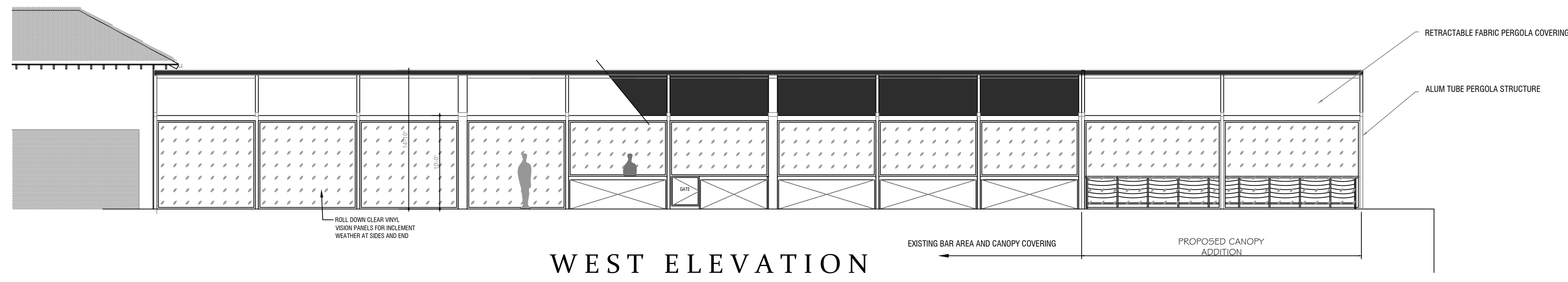
FLOOR PLAN



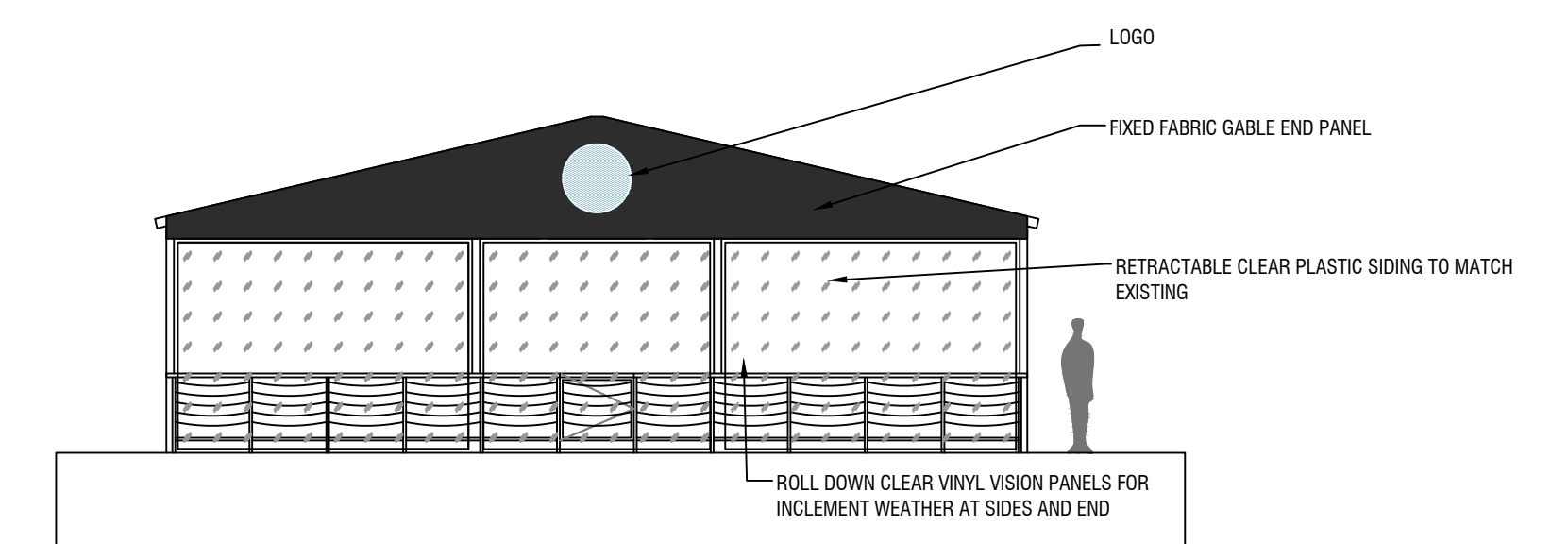
ROOF PLAN

ISSUES / REVISIONS	m-USE Architects, PLLC 611 Broadway, Rm 721 New York, NY 10012 tel: 212.391.1580 e: ts@m-use.com	Robert I. Brown Architect, P.C. 205 Bay Ave. Greenport, NY info@ribrownarchitect.com 631-477-9752	CLIENT / OWNER	DRAWING TITLE	DRAWING No.	
			CLAUDIO'S PWIB CLAUDIO'S MANAGEMENT 700 BROADWAY, NEW YORK, NY 10003	FLOOR PLAN ROOF PLAN		A2
			PROJECT	NOTES		
			111 MAIN STREET GREENPORT, NY 11944		DATE Dec. 16, 2022	SCALE 1/8" = 1'

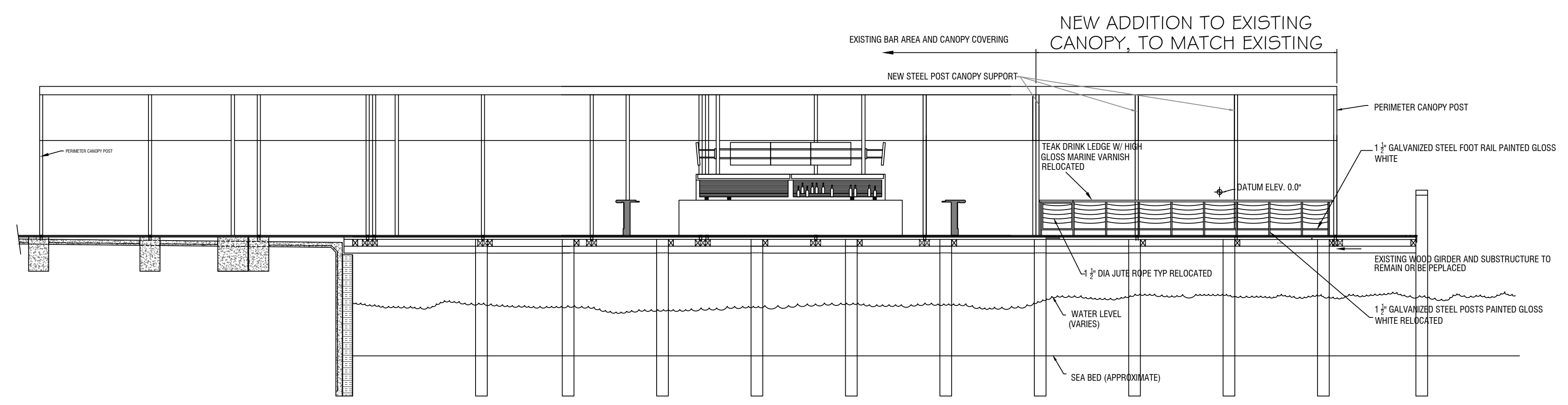
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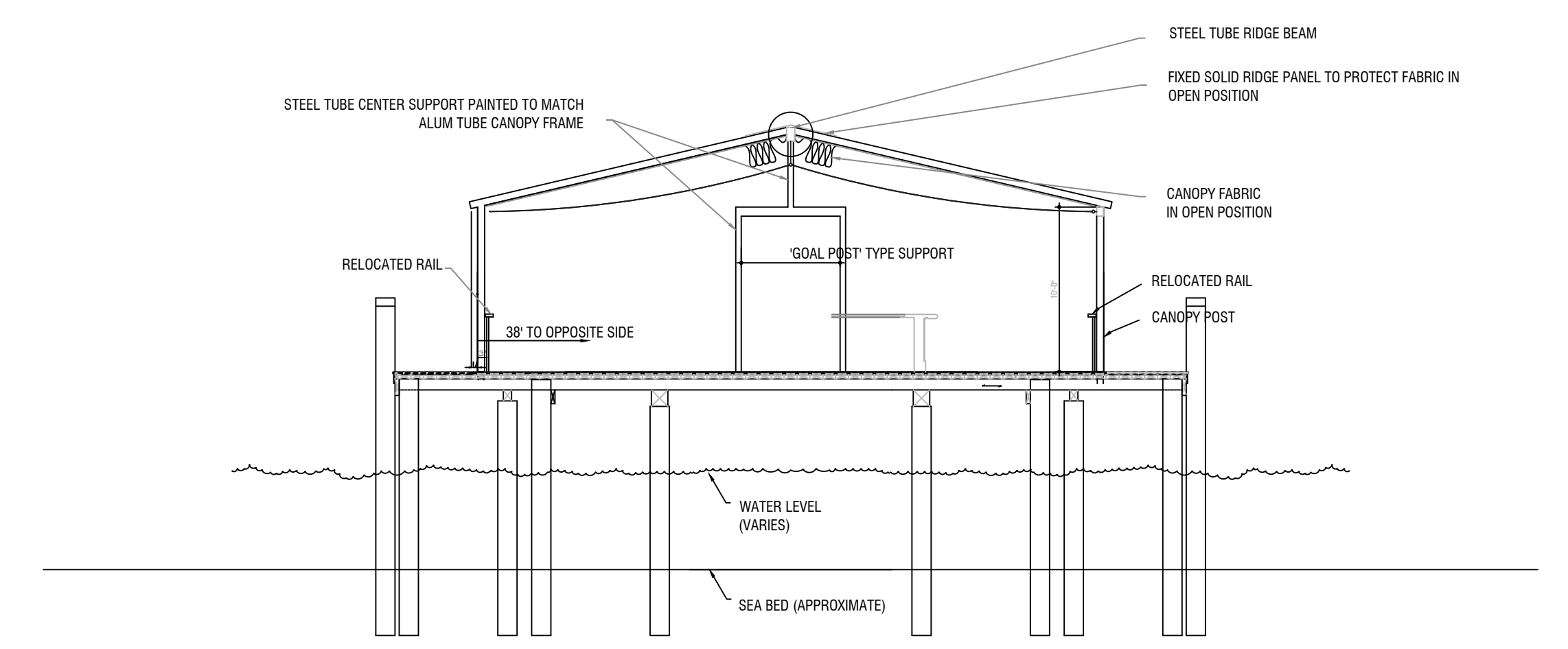
WEST ELEVATION



SOUTH ELEVATION

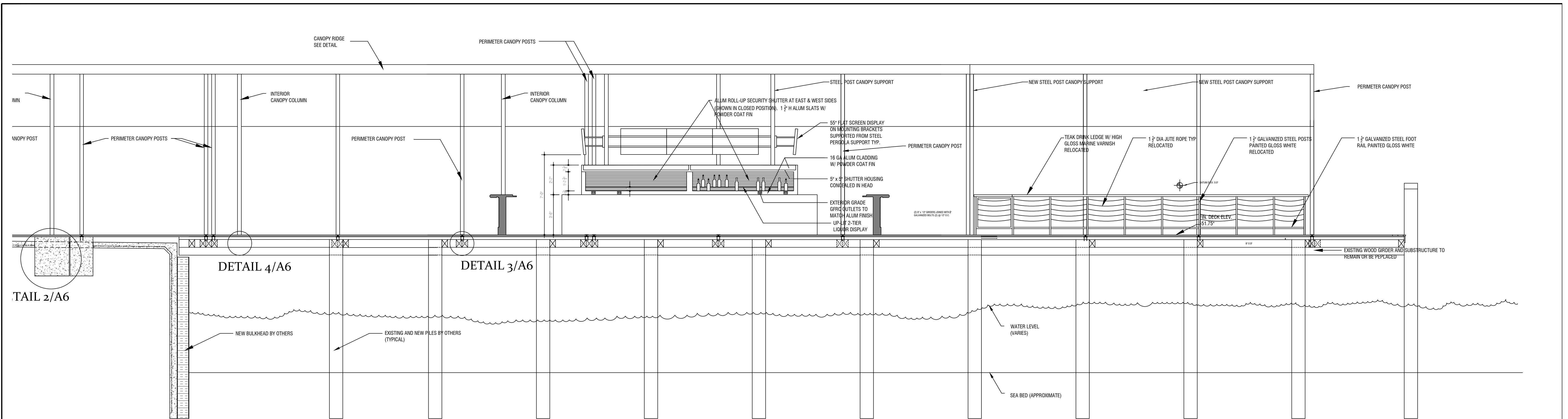


SECTION B



SECTION A

<p>ISSUES / REVISIONS</p>	<p>m-USE Architects, PLLC 611 Broadway, Rm 721 New York, NY 10012 tel: 212.391.1580 e: ts@m-use.com</p>	<p>Robert I. Brown Architect, P.C. 205 Bay Ave. Greenport NY info@ribrownarchitect.com 631-477-9752</p>	<p>CLIENT / OWNER CLAUDIO'S PWIB CLAUDIO'S MANAGEMENT 700 BROADWAY, NEW YORK, NY 10003</p> <p>PROJECT CANOPY EXTENTION 111 MAIN STREET GREENPORT, NY 11944</p>	<p>DRAWING TITLE ELEVATIONS SECTIONS</p>	<p>IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DRAWING IN ANY WAY. ANY AUTHORIZED ALTERATION MUST BE NOTED, SEALED AND DESCRIBED IN ACCORDANCE WITH THE LAW.</p>	<p>DRAWING No. A3</p> <p>DATE DEC. 16, 2022</p> <p>SCALE 1/8" = 1'</p>
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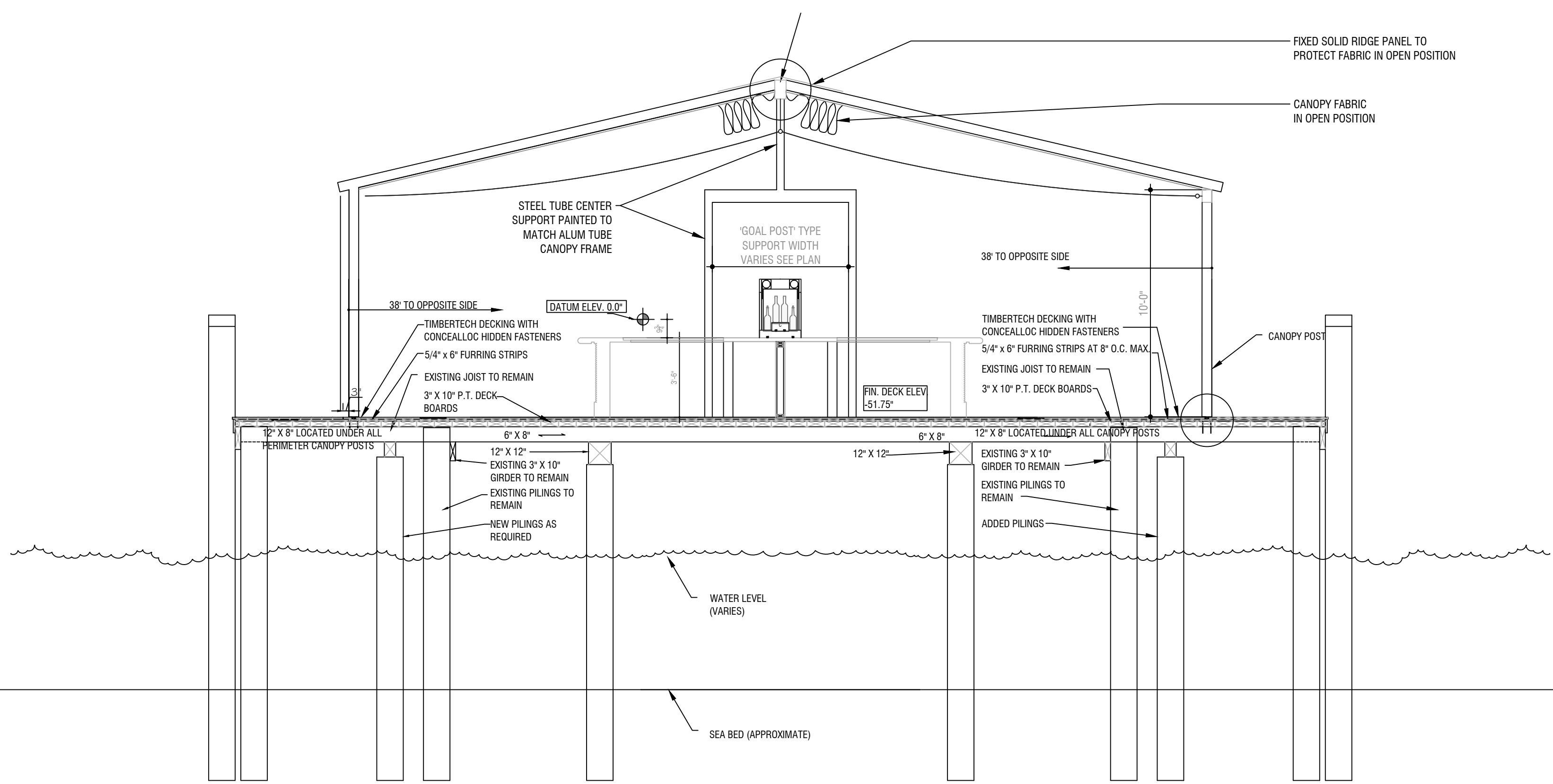


TAIL 2/A6

DETAIL 4/A6

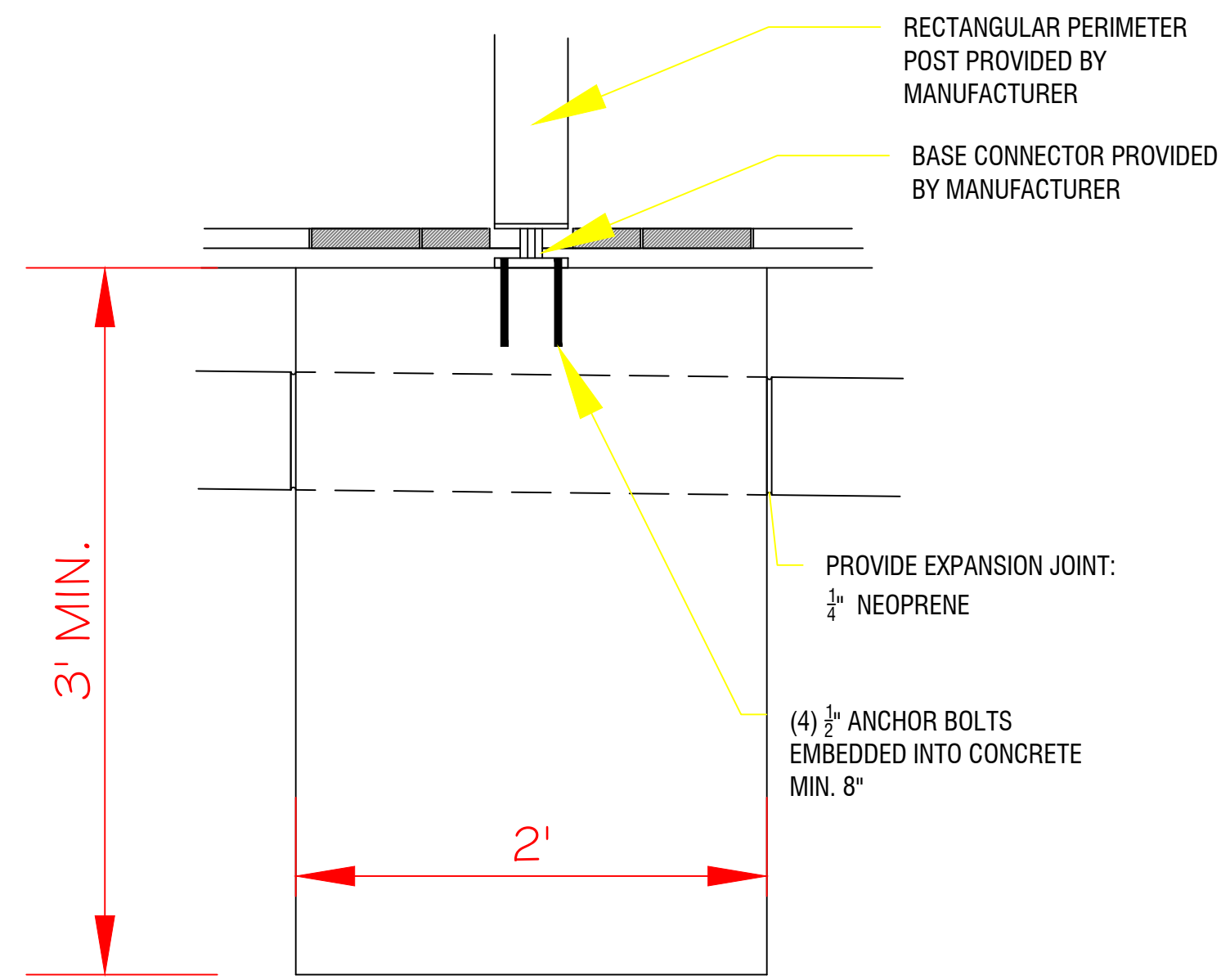
DETAIL 3/A6

SECTION A

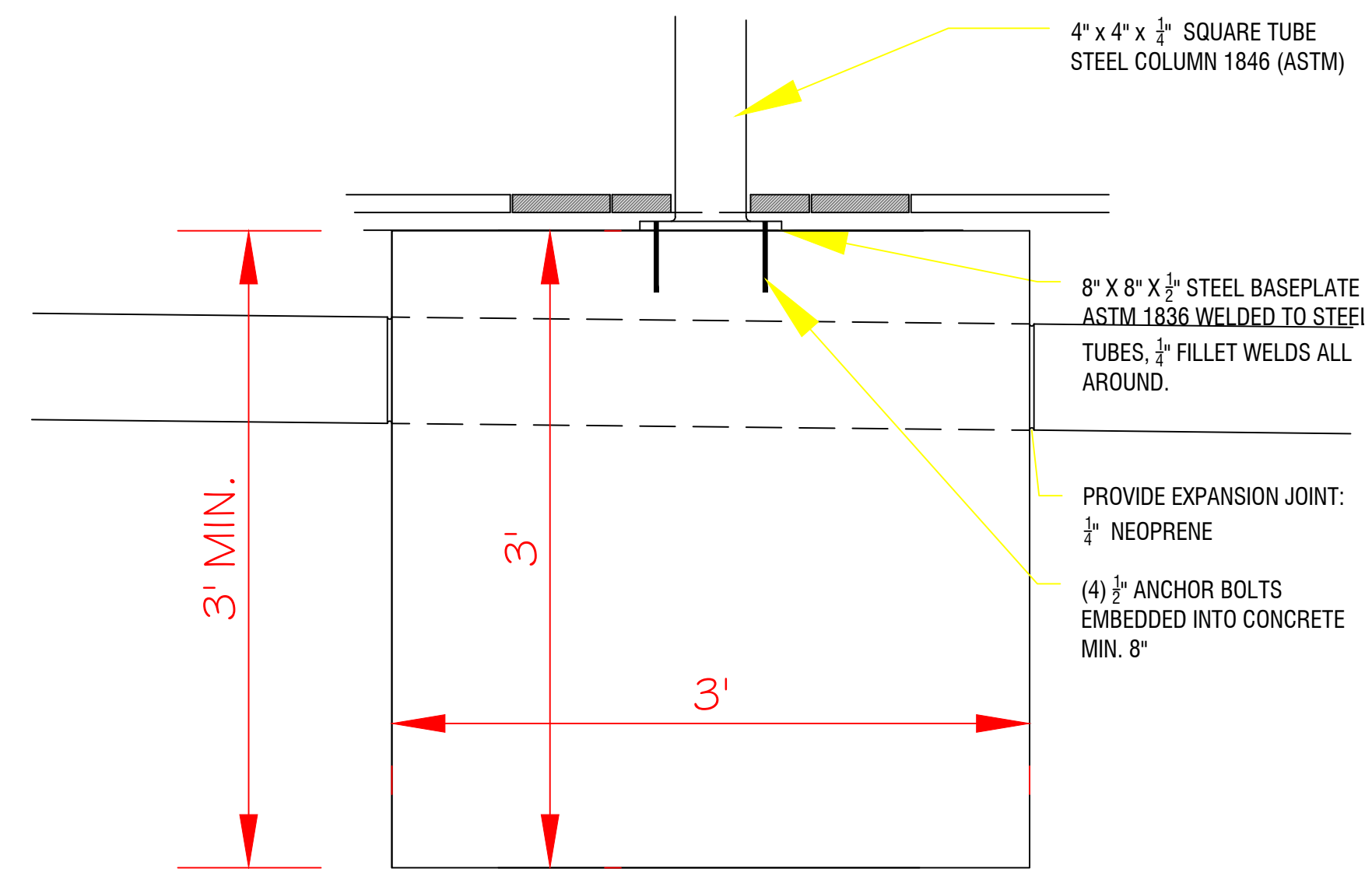


ISSUES / REVISIONS	<p>m-USE Architects, PLLC 611 Broadway, Rm 721 New York, NY 10012 tel: 212.391.1580 e: ts@m-use.com</p>	<p>Robert I. Brown Architect, P.C. 205 Bay Ave. Greenport, NY info@ribrownarchitect.com 631-477-9752</p>	<p>CLIENT / OWNER CLAUDIO'S PWIB CLAUDIO'S MANAGEMENT 700 BROADWAY, NEW YORK, NY 10003</p> <p>PROJECT CANOPY EXTENTION 111 MAIN STREET GREENPORT, NY 11944</p>	<p>DRAWING TITLE SECTIONS</p>	<p>DRAWING No. A4</p> <p>DATE DEC. 16, 2022</p> <p>SCALE 1/4" = 1'</p>
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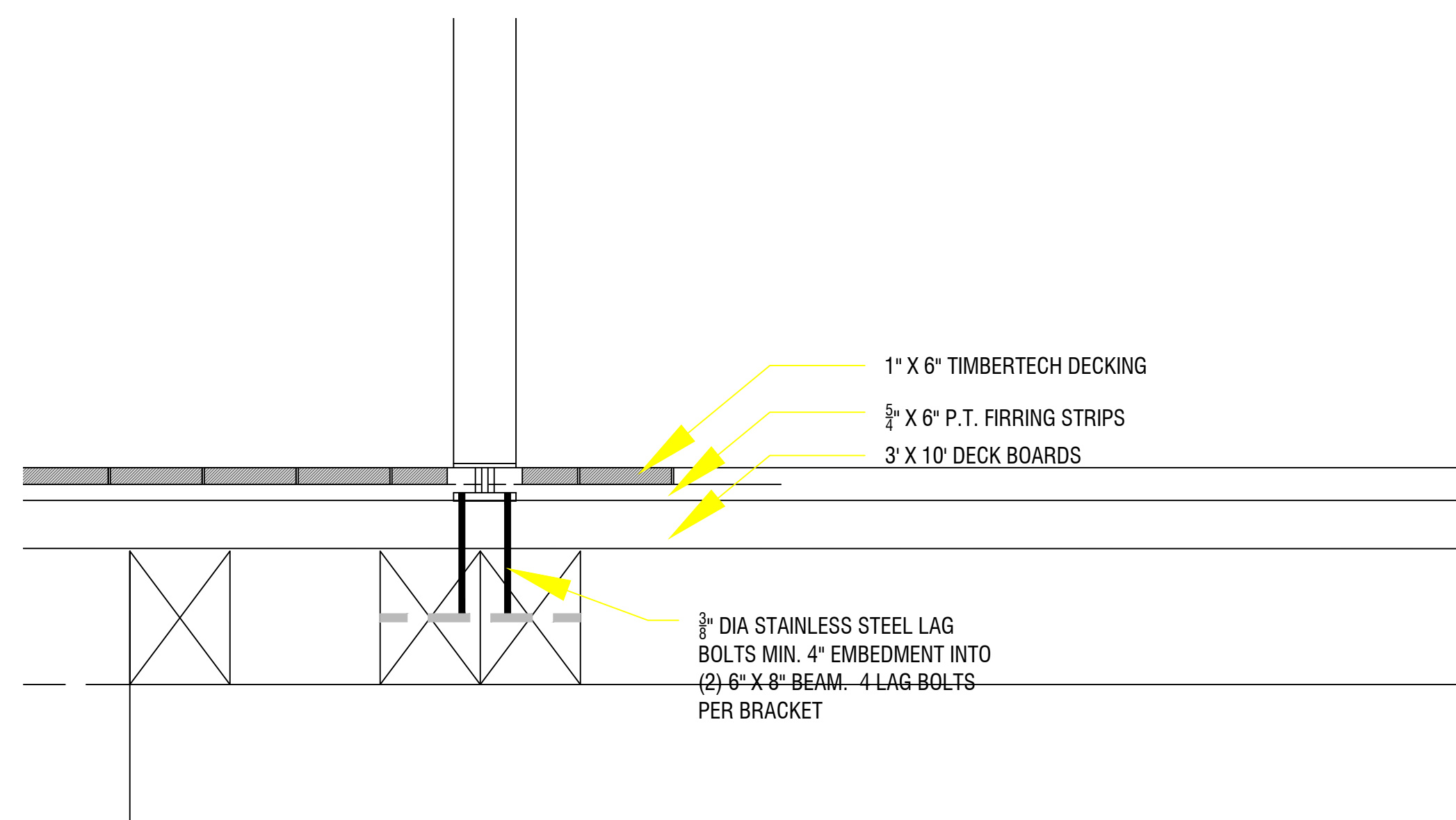
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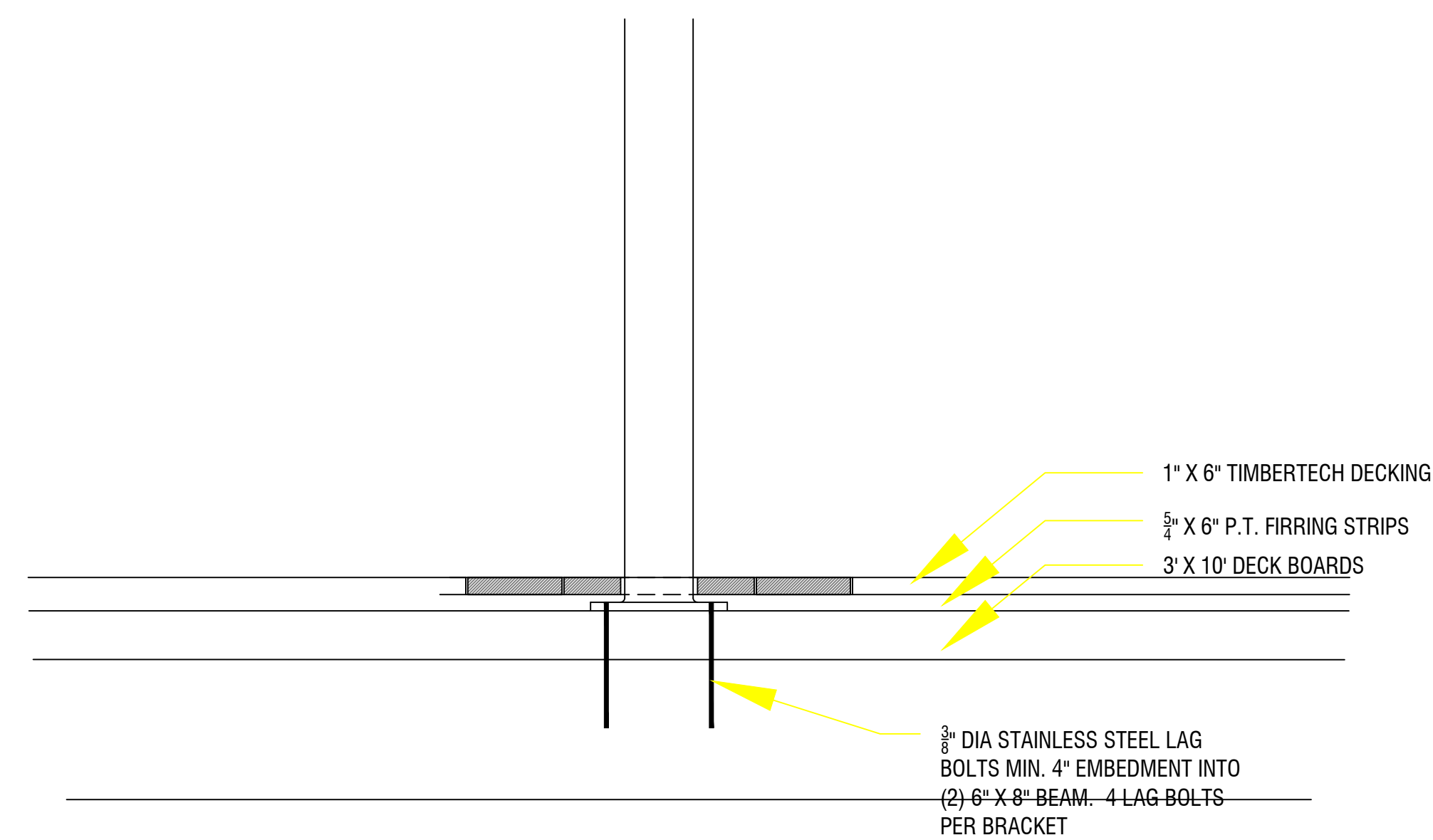
FOOTING FOR PERIMETER POST 1



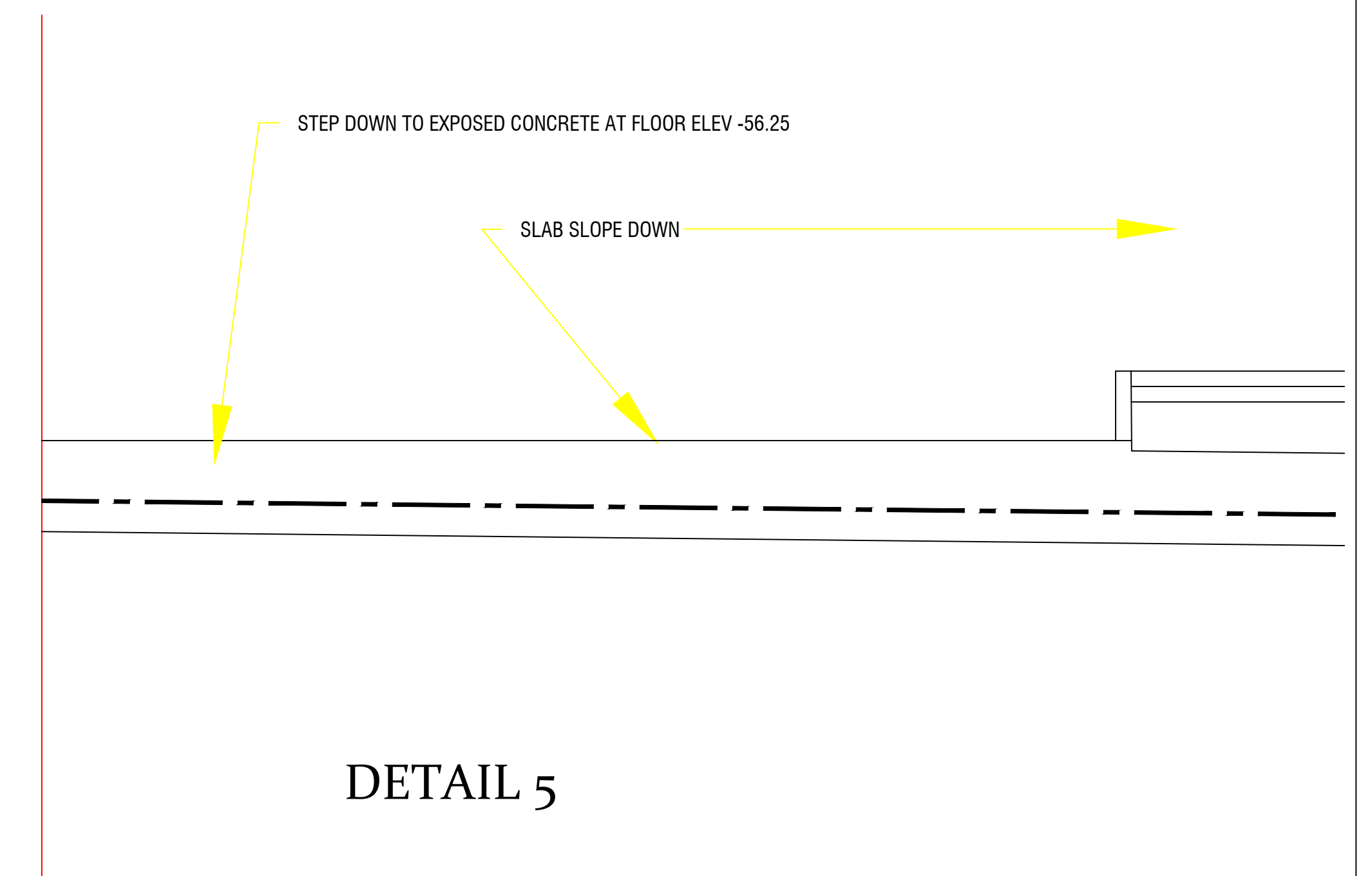
FOOTING FOR INTERIOR POST 2



BASE ATTACHMENT FOR PERIMETER POST 3



BASE ATTACHMENT FOR INTERIOR POST 4



DETAIL 5

ISSUES / REVISIONS

m-USE
Architects, PLLC
611 Broadway, Rm 721
New York, NY 10012
tel: 212.391.1580
e: fs@m-use.com

Robert I. Brown
Architect, P.C.
205 Bay Ave. Greenport, NY
info@ribrownarchitect.com
631-477-9752

CLIENT / OWNER
CLAUDIO'S
PWIB CLAUDIO'S MANAGEMENT
700 BROADWAY, NEW YORK, NY 10003

PROJECT
CANOPY EXTENTION
111 MAIN STREET
GREENPORT, NY 11944

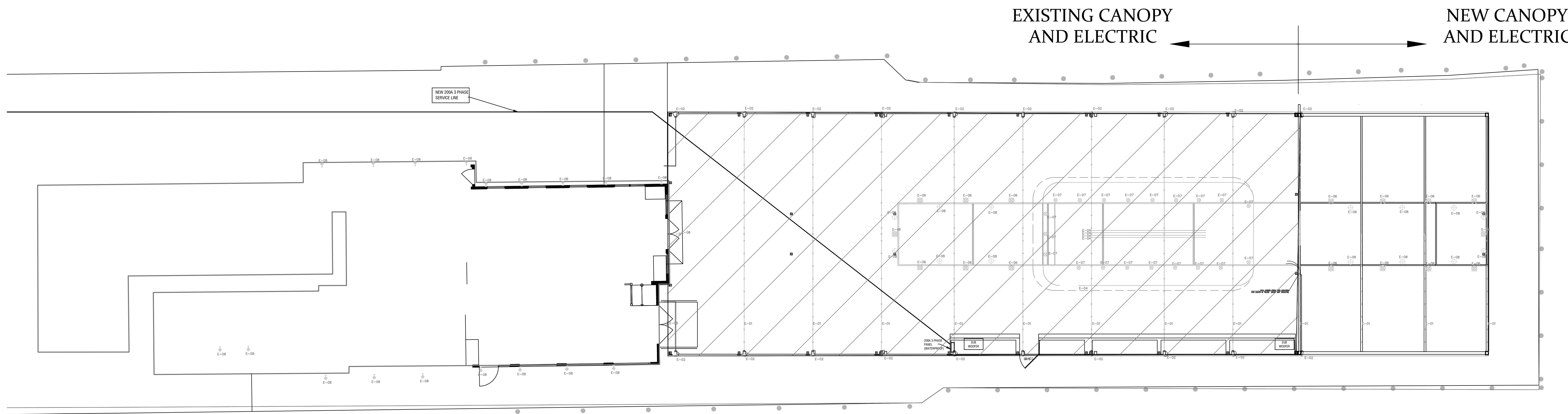
DRAWING TITLE
DETAILS

DRAWING No.

A5

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DATE SCALE
DEC. 16, 2022 1-1/2" = 1'



ELECTRICAL PLAN

2950 University
 E-01 String Lights 144 .7 Each 100.8 Incandescent 2-wire
 E-02 Directional Sconce 20 7.5 Each 150 Electronic
 E-03 Linear Perimeter Light 94 1.5W Foot 141 DMX
 E-04 Linear Perimeter Light 22 6W Foot 132 DMX
 E-05 Rgb Spot Light 6 84 Each 504 DMX
 E-06 Rgb Moving Head 10 100w Each 1000 DMX
 E-07 Accent Light 20 15W Each 300 DMX
 E-08 Rgb Flood 5 166W Each 830 dmx
 E-09 Wall Mounted Gooseneck 19 20 Each 380 Incandescent 2 wire

GENERAL NOTES

1. CONTRACTOR TO RUN SPARE WIRE TO EVERY OUTLET FOR FUTURE LOCATION OF SWITCHED OUTLET.

2. CONTRACTOR TO COORDINATE FIXTURE TRIM/ TRACK WITH CEILING FINISH FOR COMPLETE RECESS IN CEILING.

3. CONTRACTOR TO DETERMINE FINAL HOUSING ORIENTATION AND COORDINATE HOUSING TYPE AND ORIENTATION PER FIELD CONDITION TO SATISFY DESIGN INTENT.

4. CONTRACTOR TO VERIFY ALL WALLWASH FIXTURES ARE CORRECTLY ORIENTED TO LIGHT ARTWORK/ WALL PRIOR TO INSTALLATION.

5. CONTRACTOR TO COORDINATE TYPE, QUANTITY, AND LOCATION OF REMOTE POWER SUPPLIES AS PER MFR. AND REQUIREMENTS. REMOTE DRIVERS AS SPECIFIED NEED TO BE LOCATED IN AN ACCESSIBLE VENTILATED LOCATION AND AS BUILT OF THE DRIVER LOCATION CHART SHALL BE GIVEN TO LIGHTING DESIGNER FOR FUTURE REFERENCE.

6. ZONING ON PLAN ARE FOR DESIGN INTENT AND NOT WIRING PURPOSES.

7. FINAL LIGHTING LOCATION TO BE FIELD VERIFIED AND PLACEMENT CONFIRMED BASED ON SITE CONDITIONS AND DESIGN INTENT

8. CONTRACTOR TO LOCATE, PROVIDE AND INSTALL VACANCY SENSORS/ OCCUPANCY SENSORS AND EQUIPMENT ASSOCIATED WITH IT AS NEEDED TO FULFILL CODE REQUIREMENTS. SENSORS TO BE INSTALLED EITHER ABOVE THE CEILING FINISH/ WALL OR CONCEALED FROM VIEW.

9. CONTRACTOR TO INSTALL AND FURNISH VENTILATION PER ARCHITECT'S DRAWING

- F-01 RECESSED HAL. ADJ. ACCENT 1-LAMP
- F-02 RECESSED HAL. ADJ. ACCENT 2-LAMP
- F-03 RECESSED CFL DOWNLIGHT
- F-04 UNDERCABINET LED TASK LIGHT
- F-05 RECESSED STEPLIGHT
- F-06 RECESSED LED WALL LIGHT
- F-07 RECESSED HAL. LINEAR DOWNLIGHT
- F-08 CURVABLE LED STRIP LIGHT
- F-09 CURVABLE LED STRIP LIGHT
- F-10 RECESSED HAL. DOWNLIGHT
- F-11 LINEAR LED STRIP LIGHT
- F-12 UNDERCABINET FLUOR. TASK LIGHT
- F-13 RECESSED HAL. ADJ. ACCENT 2-LAMP
- F-14 RECESSED CFL DOWNLIGHT
- F-15 UNDERCABINET LED TASK LIGHT
- F-16 RECESSED STEPLIGHT
- F-17 RECESSED LED WALL LIGHT
- F-18 RECESSED HAL. LINEAR DOWNLIGHT
- F-19 CURVABLE LED STRIP LIGHT
- F-20 RECESSED HAL. ADJ. ACCENT
- F-21 RECESSED FLUOR. DOWNLIGHT
- F-22 LINEAR LED STRIP LIGHT
- F-23 RECESSED LINEAR DOWNLIGHT
- F-24 RECESSED CFL DOWNLIGHT
- F-25 FLUORESCENT STRIP LIGHT
- F-26 RECESSED STEPLIGHT
- F-27 COLD CATHODE STRIPLIGHT
- F-28 RECESSED HAL. LINEAR DOWNLIGHT
- F-29 RECESSED WALLWASHER
- F-30 RECESSED HAL. WALLWASHER
- F-31 RECESSED HAL. ADJ. ACCENT
- A-XX PICTURE LIGHT
- C-XX DECORATIVE SURFACE MOUNT
- L-XX DECORATIVE FLOOR LAMP
- P-XX DECORATIVE PENDANT
- S-XX DECORATIVE SCONCE
- R-XX READING LIGHT
- T-XX DECORATIVE TABLE LAMP
- WIRE WHIP
- REMOTE POWER SUPPLY
- SHADE MOTOR POWER FEED
- SHADE MOTOR POWER FEED
- SWITCHED WALL RECEPTACLE
- SWITCHED FLOOR RECEPTACLE
- CLOCK RECEPTACLE
- LUTRON 300W PLUG-IN TABLETOP DIMMER
- LUTRON WALL MOUNTED KEYPAD
- LUTRON TABLETOP KEYPAD
- LIGHTING CONTROL ZONE
- SHADE/DRAPERY CONTROL ZONE
- JAMB-OPERATED SWITCH
- LUTRON MAESTRO SWITCH
- LUTRON MAESTRO REMOTE SWITCH
- WALL SWITCH W/VACANCY SENSOR
- WALL DUAL RELAY SWITCH W/ VACANCY SENSOR & NIGHT LIGHT (WATTSTOPPER CS-350-N PR)
- VACANCY SENSOR

1. CONTRACTOR TO RUN SPARE WIRE TO EVERY OUTLET FOR FUTURE LOCATION OF SWITCHED OUTLET.
2. ALL NEW FIXTURES IN NEW LOCATIONS UNLESS LABELED OTHERWISE.
3. CONTRACTOR TO VERIFY ALL WALLWASH FIXTURES ARE CORRECTLY ORIENTED PRIOR TO INSTALLATION.
4. CONTRACTOR TO COORDINATE TYPE, QUANTITY, AND LOCATION OF REMOTE POWER SUPPLIES AS PER MFR. AND REQUIREMENTS.

ISSUES / REVISIONS		<p>Tirschwell & Co, Inc. Architectural Lighting Design 21 West 39th Street, 2A New York, NY 10018 P: 212-563-0994</p>	<p>m-USE Architects, pllc 611 Broadway, Rm 721 New York, NY 10012 tel: 212.391.1580 e: ts@m-use.com</p>	<p>Robert I. Brown Architect, P.C. 205 Bay Ave. Greenport, NY info@ribrownarchitect.com 631-477-9752</p>	<p>CLIENT / OWNER CLAUDIO'S PWIB CLAUDIO'S MANAGEMENT 700 BROADWAY, NEW YORK, NY 10003</p>	<p>DRAWING TITLE ELECTRICAL PLAN</p>	<p>DRAWING No. E1</p>
		<p>PROJECT CANOPY EXTENTION 111 MAIN STREET GREENPORT, NY 11944</p>			<p>DATE DEC. 16, 2022</p>	<p>SCALE 1/8" = 1'</p>	

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