



# ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944  
(631) 477-0248  
[www.villageofgreenport.org](http://www.villageofgreenport.org)

RECEIVED  
JUN 03 2022

Date of Application 6/2/2022

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable. BY: .....

### THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

MARISA HARNEY AND JOHN BARRETT		237 SIXTH STREET LLC	
First Name	Last Name	Business Name, if applicable	
[REDACTED]		[REDACTED]	[REDACTED]
Mailing Address	City/ Town/ Village	State	Zip
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
Phone #	E-Mail Address		
[REDACTED]	[REDACTED]		

### CONTACT PERSON (if different from owner) The person to receive all correspondence:

EILEEN WINGATE		QUIET MAN STUDIO	
First Name	Last Name	Business Name, if applicable	
2805 West Mill Road, Mattituck, NY 11952			
Mailing Address	City/ Town/ Village	State	Zip
516-818-9754	[REDACTED]	[REDACTED]	[REDACTED]
Phone #	E-Mail Address		
[REDACTED]	eileen@quietmanstudio.com		

**IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.**

### Location:

Suffolk County Tax Map Number: 1001 Section: 7 Block: 1 Lot 3  
Street Address: 237 6TH STREET Greenport, New York, 11944

Zoning District:  WC  R1  R2  PD  CR  CG  
Is property located within the Historic District?  Yes  No



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The Code Official reviewed and denied an application dated 5/31/2022 for a Building Permit for the location specified on this application.

**Provisions of the Zoning Code appealed:**

*(Indicate Article, Section and Subsection of Zoning Code by numbers)*

Article: \_\_\_\_\_ V Section: 150 - 12 Subsection: \_\_\_\_\_

**Type of appeal made for:**

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: \_\_\_\_\_ Section: \_\_\_\_\_ Subsection: \_\_\_\_\_

Has a prior appeal been made at any time with respect to this property?  Yes  No  I Don't Know

If yes, please provide the date appeal was made: \_\_\_\_\_.

**Project Description:**

**For Demolition of Existing Building Areas:**

Please describe area being removed:

**New Construction Areas (New Dwelling or New Addition/Extensions)**

Dimensions of First Floor (Addition/Extension): PROPOSED KITCHEN ADDITION - 26 SQ. FT.,  
PORCH ADDITION - 68.5 SQ. FT.

Dimensions of Second Floor: 26 SQ. FT.

Height (from finished grade to top of ridge): 25 - Feet, 6 - Inches

Is basement or lowest floor area being constructed?  Yes  No

If yes, please provide height (above ground) measured from natural existing grade to first floor:

\_\_\_\_ - Feet, \_\_\_\_ - Inches.



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### **Project Description: (CONTINUED)**

#### **Proposed Construction Description: (Alteration or Structural Changes)**

Number of floors BEFORE alterations: 2

Describe General Characteristics BEFORE alterations:

SINGLE FAMLY VINTAGE WOOD FRAME CONSTRUCTION.  
EXISTING FRONT PORCH AND SIDE SUN ROOM

Number of floors AFTER Alterations: 2

Describe General Characteristics AFTER alterations:

PROPOSED EXTENSION TO EXISTING PORCH WILL CREATE A WRAP AROUND PORCH,  
WITH MORE USEABLE SPACE.  
THE REAR KITCHEN ADDITION WILL SQUARE OFF THE EXISTING STRUCTURE AND  
PROVIDE A BETTER LAYOUT FOR RENOVATED KITCHEN.

#### **Calculations of Building Areas and Lot Coverage:**

Existing Square Footage of Building(s) on this property:             
HOUSE = 1216 SQ. FT  
GARAGE = 305 SF  
TOTAL SQ. FT. = 1521

Proposed Increase in Building Coverage:            95.5 SF

Square Footage of this Lot:            8,243 SF

Percentage of Coverage of this Lot by Building Area:            18% %

#### **Purpose of New Construction:**

*Please describe:*

THE PROPOSED CONSTRUCTION ON THE FIRST FLOOR IS TO INCREASE THE SIZE OF THE FRONT PORCH AND THE REAR ADDITION IS FOR CAPTURE THE CORNER AND CREATE A BETTER LAYOUT FOR THE RENOVATED KITCHEN. ON THE SECOND FLOOR THE PROPOSED CONSTRUCTION IS TO INCREASE THE SIZE OF THE SECOND BEDROOM WITH A BATHROOM, WHICH IT DOES NOT HAVE NOW.



# ZONING BOARD OF APPEALS APPLICATION

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### Area Variance Reasons for Appeal:

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

**Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?**

THE ADDITION OF THE WRAP AROUND PORCH IS VERY MUCH IN KEEPING WITH THE VISUAL AND ARCHITECTURAL QUALITY OF THE NEIGHBORHOOD. THE KITCHEN HAS LITTLE IMPACT ON THE VISUAL INTEGRITY OF THE NEIGHBORHOOD.

**Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?**

NO, THERE ARE NO OTHER OPTIONS FOR SQUARING OUT THE KITCHEN, AND NO OTHER POSSIBILITIES FOR EXPANSION OF THE FRONT PORCH.

**Is the requested Area Variance substantial?**

NO, THE REQUEST FOR AN EXPANDED PORCH IS UNDER 100 SQ. FT. IT FITS WITH THE CHARACTER OF 6TH STREET VERY WELL. THE REQUEST FOR 26 SQ. FT. IN THE REAR IS NOT SUBSTANTIAL AS IT LINES UP THE PROPOSED ADDITION WITH THE EXISTING EXTERIOR WALL OF THE HOUSE.

**Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?**

NO, THERE WILL BE NO CHANGE IN THE PHYSICAL OR ENVIRONMENTAL CHARACTER OF THE NEIGHBORHOOD.

**Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?**

NO, THE PROPOSED ADDITIONS DO NOT INCREASE THE EXISTING FOOTPRINT BEYOND EXISTING BORDERS, THE PROPOSED ADDITIONS HAVE USED THE EXISTING BUILDING LINES TO IMPROVE THE FLOW AND USE OF THE HOUSE.

**Are there Covenants or Restrictions concerning this land?  Yes  No**

*If yes, please furnish copies.*



## Village of Greenport Building Department

236 Third Street, Greenport, New York 11944

OFFICE: 631.477.0248 / FAX: 631.477.1877

### NOTICE OF DISAPPROVAL

RECEIVED  
JUN 03 2022

Date: May 31, 2022

To: Eileen Wingate  
2805 West Mill Road  
Mattituck, New York 11952

PLEASE TAKE NOTICE that your application dated March 29, 2022, to expand existing footprint at property located at 237 Sixth Street, in the R-2 District, is returned herewith and disapproved on the following grounds:

#### **1. Front Yard Setback Requirements.**

##### 150-12 Schedule Regulations

R-2 District: Minimum Front Yard Requirement: 30 feet.

The plans show the front yard of the setback of 20 feet.  
This would require an area variance 10 feet

#### **2. Side Yard Setback Requirements.**

##### 150-12 Schedule Regulations

R-2 District: Minimum Side Yard Requirement: 10 feet.

The plans show the side yard of the setback of 7 feet.  
This would require an area variance 3 feet

#### **3. Combined Side Yard Setback Requirements.**

##### 150-12 Schedule Regulations

One-Family dwelling: Combined Side Yard Setback: 25-feet. (R-2)

The plans show the front yard setback of 23 feet 6 inches. This would require an area variance of 1 feet 6 inches.

**4. 150-13 Residence district regulations.**

**A.**

Accessory buildings

**(b)** Such building shall be set back five feet from any lot line and shall not be located less than 10 feet from the principal building.

The plans show accessory building on property line. This would require a area variance of 5 feet.

**This application is therefore denied, requiring the above-mentioned use variance.**

The premise to which this application applies to is located at:  
237 Six Street, Greenport, New York 11944. This property is located in the R-2 District.

Map: 1001 Section: 7 Block: 1 Lot: 3



.....  
Alex Bolanos  
Code Enforcement Official

Date : 05/31/2022

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JUN 03 2022

BY: .....

617.20  
Appendix B  
Short Environmental Assessment Form

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JUN 03 2022

**Instructions for Completing**

BY: .....

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: MARISA HARNEY AND JOHN BARRETT RESIDENCE			
Project Location (describe, and attach a location map): 237 6TH STREET, GREENPORT, NY			
Brief Description of Proposed Action: 26 SQ. FT KITCHEN ADDITION 68.5 SQ. FT FRONT PORCH ADDITION RECONSTRUCT EXISTING REAR ROOF TO PROVIDE FOR EXPANSION OF SECOND FLOOR BEDROOM.			
Name of Applicant or Sponsor: Eileen Wingate		Telephone: 516-818-9754	
		E-Mail: eileen@quietmanstudio.com	
Address: 2805 West Mill Road, Mattituck, NY 11952			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: ZONING BOARD OF APPEALS AND BUILDING DEPT.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.20 acres	
b. Total acreage to be physically disturbed?		94.5 SQ. FT	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		00 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

TWED  
JUN 03 2022

	BY	NO	YES	N/A
5. Is the proposed action,				
a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?				
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____				
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?				
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?			<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____				
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____				
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____				
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?				
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?			<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?				
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?				
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?				
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,				
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>	YES
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____			<input type="checkbox"/>	<input type="checkbox"/>
ROOF RUNOFF WILL BE CONTAINED WITH THE USE OF DRYWELLS				



BY: .....

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Eileen Wingate</u>	Date: <u>6/2/2022</u>	
Signature: <u></u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

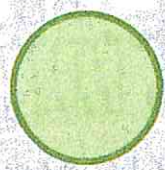
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<hr/> <div style="display: flex; justify-content: space-between;"> <span>Name of Lead Agency</span> <span>Date</span> </div>	
<hr/> <div style="display: flex; justify-content: space-between;"> <span>Print or Type Name of Responsible Officer in Lead Agency</span> <span>Title of Responsible Officer</span> </div>	
<hr/> <div style="display: flex; justify-content: space-between;"> <span>Signature of Responsible Officer in Lead Agency</span> <span>Signature of Preparer (if different from Responsible Officer)</span> </div>	

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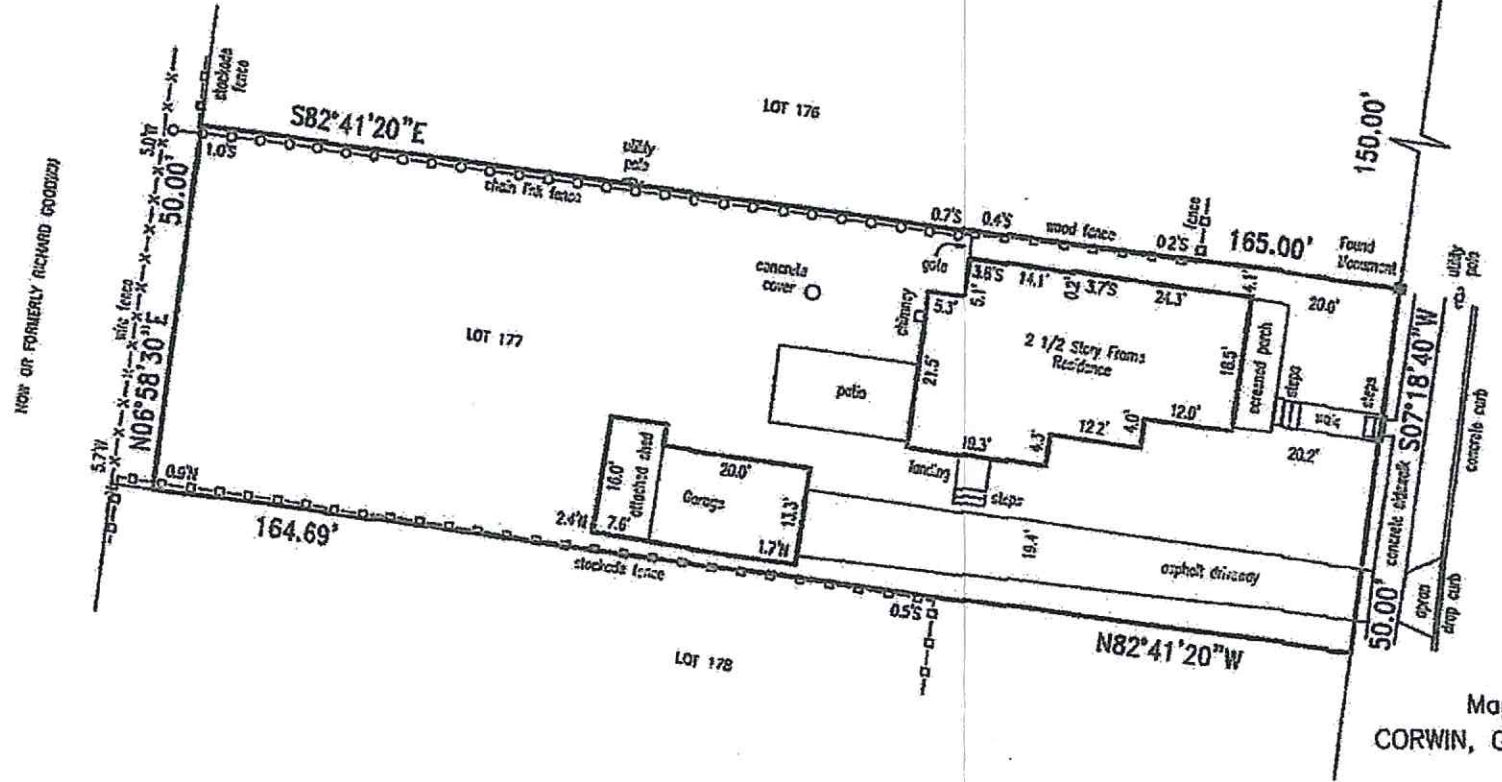
BY: .....

LOCATION MAP  
237 6TH STREET  
GREENROCK, NY



DRAWN BY: [ ] CHECKED BY: [ ] DATE: OCT. 2021 DRAWING & JOB NO. 21-942

Area= 8,243 s.f.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

GUARANTEES INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES ARE NOT TRANSFERABLE.

THE EXISTENCE OF RIGHTS OF WAY AND/OR EASEMENTS OF RECORD IF ANY, NOT SHOWN ARE NOT GUARANTEED.

Premises known as:  
# 237 6th Street, Greenport.

6th Street

**Survey of Lot 177**

Map Entitled: "WIGGINS ESTATE", SIGNED BY CORWIN, GRIFFIN AND CASE, COMMISSIONERS IN PARTITION

situate in the Incorporated

**Village of Greenport**

Town of Southold

Suffolk County, New York

District 1001 Section 7 Block 1 Lot 3

Scale 1" = 20' Surveyed October 20, 2021

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

**Michael W. Minto, L.S.P.C.**  
 LICENSED PROFESSIONAL LAND SURVEYOR  
 NEW YORK STATE LICENSE NUMBER 050871  
 87 Woodview Lane  
 Centereach, N.Y. 11720  
 PHONE/FAX: (631) 580-1202  
 CELLULAR: (631) 766-9714  
 EMAIL: mlkamintolspc@gmail.com

Certified to:  
237 SIXTH STREET LLC  
FIDELITY NATIONAL TITLE INSURANCE COMPANY

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**DESIGN CRITERIA:**

	LIVE LOAD	DEAD LOAD
GROUND SNOW LOAD	20 PSF.	15 PSF.
LIVING AREAS AND DECKS	40 PSF.	15 PSF.
SLEEPING AREA	30 PSF.	15 PSF.
ATTIC	20 PSF.	15 PSF.
WIND SPEED	140MPH	
SEISMIC DESIGN CATEGORY	B	
WEATHERING	SEVERE	
FROST LINE DEPTH	36"	
TERMITE	MOD. - HVY.	
DECAY	SLIGHT	
ICE SHEILD REQ.	YES	

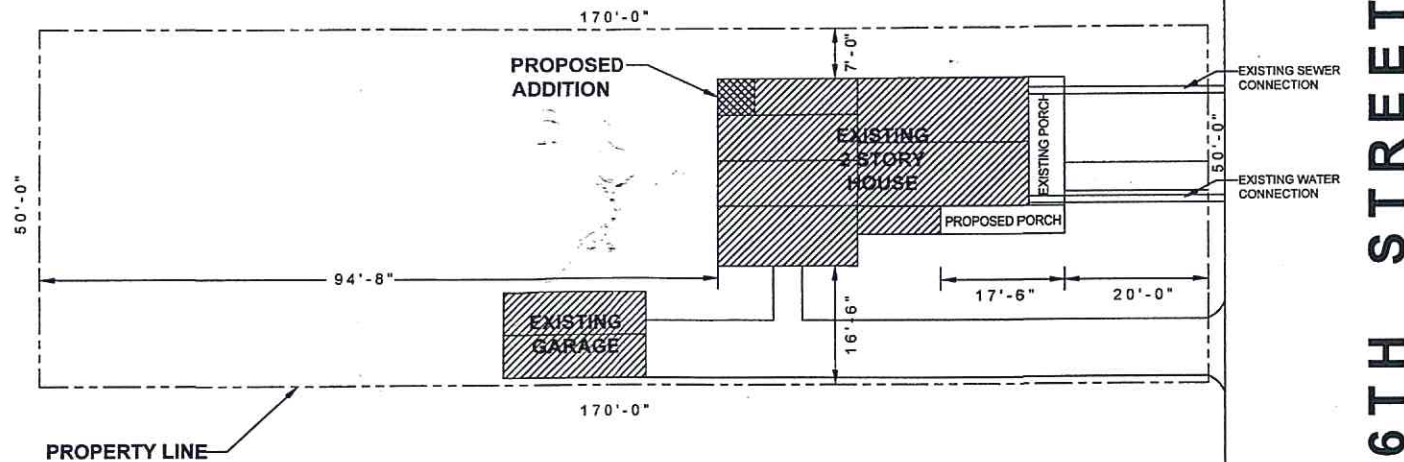
PROPERTY LOCATED AT:  
 237 6TH STREET  
 VILLAGE OF GREENPORT  
 COUNTY OF SUFFOLK, STATE OF NEW YORK  
 ZIP: 11944  
 DISTRICT: 1001 SECTION: 07 BLOCK: 01 LOT: 03

LOT SIZE: 8,250SF

PROPOSED ADDITION:  
 GROUND FLOOR: 26.3 INTERIOR, 68.5 SF EXT DECK  
 SECOND FLOOR: 344.2 SF INTERIOR  
 TOTAL: 439.0 SF

**GENERAL NOTES:**

- ALL WORK MATERIAL AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM BUILDING CODE, AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AND LOCAL AUTHORITIES.
- ALL CONCRETE SHALL BE STONE AGGREGATE WITH A MINIMUM 28 DAY STRENGTH OF 3000 PSI.
- ALL LUMBER SHALL BE GRADE STAMPED DOUGLAS FIR-LARCH STRUCTURAL GRADE #2 OR BETTER.
- PROVIDE DOUBLE HEADERS AND TRIMMERS AT ALL STAIR AND FLOOR OPENINGS, POSTS AND PARALLEL PARTITIONS, EXCEPT AS NOTED ON DRAWING.
- BRIDGING TO BE PROVIDED FOR ALL JOISTS AND FLOOR BEAM. SPACING NOT TO EXCEED 8 FT.
- ALL DIMENSIONS AND GRADE CONDITIONS TO BE VERIFIED BY CONTRACTOR(S) PRIOR TO START OF CONSTRUCTION AND ORDERING OF MATERIALS. THIS FOUNDATION HAS BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF TWO (2) TSF AND GRADES LESS THAN 5% CONTRACTOR SHALL VERIFY THAT THESE CONDITIONS ARE MET. ALL FILL BENEATH CONCRETE SLABS TO BE COMPACTED TO 95% RELATIVE DENSITY.
- DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL FLOOR SYSTEM IS INSTALLED.
- ALL HEADERS 6 FT IN LENGTH AND OVER TO BE SUPPORTED BY DOUBLE UPRIGHTS, 9 FT AND OVER BY TRIPLE UPRIGHTS. ALL HEADERS TO BE MINIMUM OF (2) 2x8" OR AS NOTED
- PROVIDE FIRESTOPPING AT ALL LEVEL PENETRATIONS.
- PROVIDE FLASHING AT ALL ROOF BREAKS, CHIMNEYS, SKYLIGHTS, EXTERIOR DOORS, WINDOWS, DECKS, ETC.
- DO NOT SCALE DRAWINGS
- DESIGN CONSULTANTS OR RECORD ARCHITECT-ENGINEER ARE NOT RESPONSIBLE FOR THE INSPECTION, SUPERVISION, OR ADMINISTRATION OF THIS CONSTRUCTION PROJECT. FEDERAL, STATE AND LOCAL ZONING AND BUILDING CODE COMPLIANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S).
- DESIGNER, ARCHITECT, OR ENGINEER MUST BE NOTIFIED IN WRITING BEFORE ANY CHANGES ARE MADE TO PLANS.
- ELECTRICAL AND MECHANICAL COMPONENTS TO BE DESIGNED AND SPECIFIED BY OTHERS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSURANCE NECESSARY TO PROTECT THE ENGINEER AND OWNER.



**SITE PLAN**

"Alteration of this Document except by an Architect or Licensed Professional Engineer, is illegal."  
 Section 7209, Subdivision 2,  
 N. Y. State Education Law.

**REVISIONS:**

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 JUN 03 2022

BY: .....

SECOND STORY ADDITION  
**237 6TH STREET**  
 GREENPORT, NY 11944

**SITE PLAN**



PROJECT: 2022-02

DRAWN BY: RC

OWNER: 237 6TH ST LLC

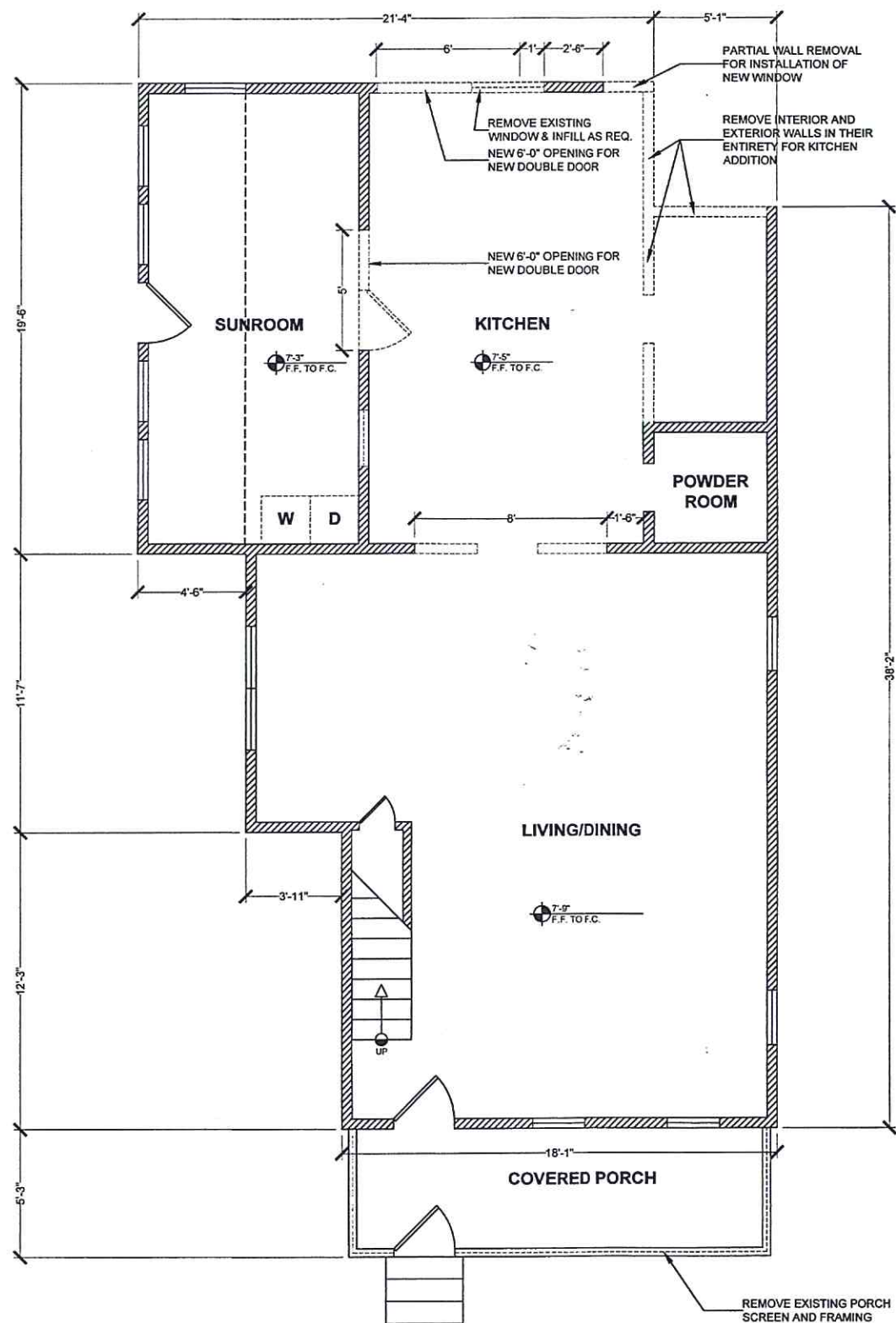
DATE: APR. 12, 2022

SCALE: 1/4" = 1'-0"

SHEET NO:

**1**

**FIRST FLOOR DEMOLITION PLAN**



\*Alteration of this Document except by an Architect or Licensed Professional Engineer, is illegal.\*  
Section 7209, Subdivision 2,  
N. Y. State Education Law.

**LEGEND**

	DEMO
	EXISTING

REVISIONS:

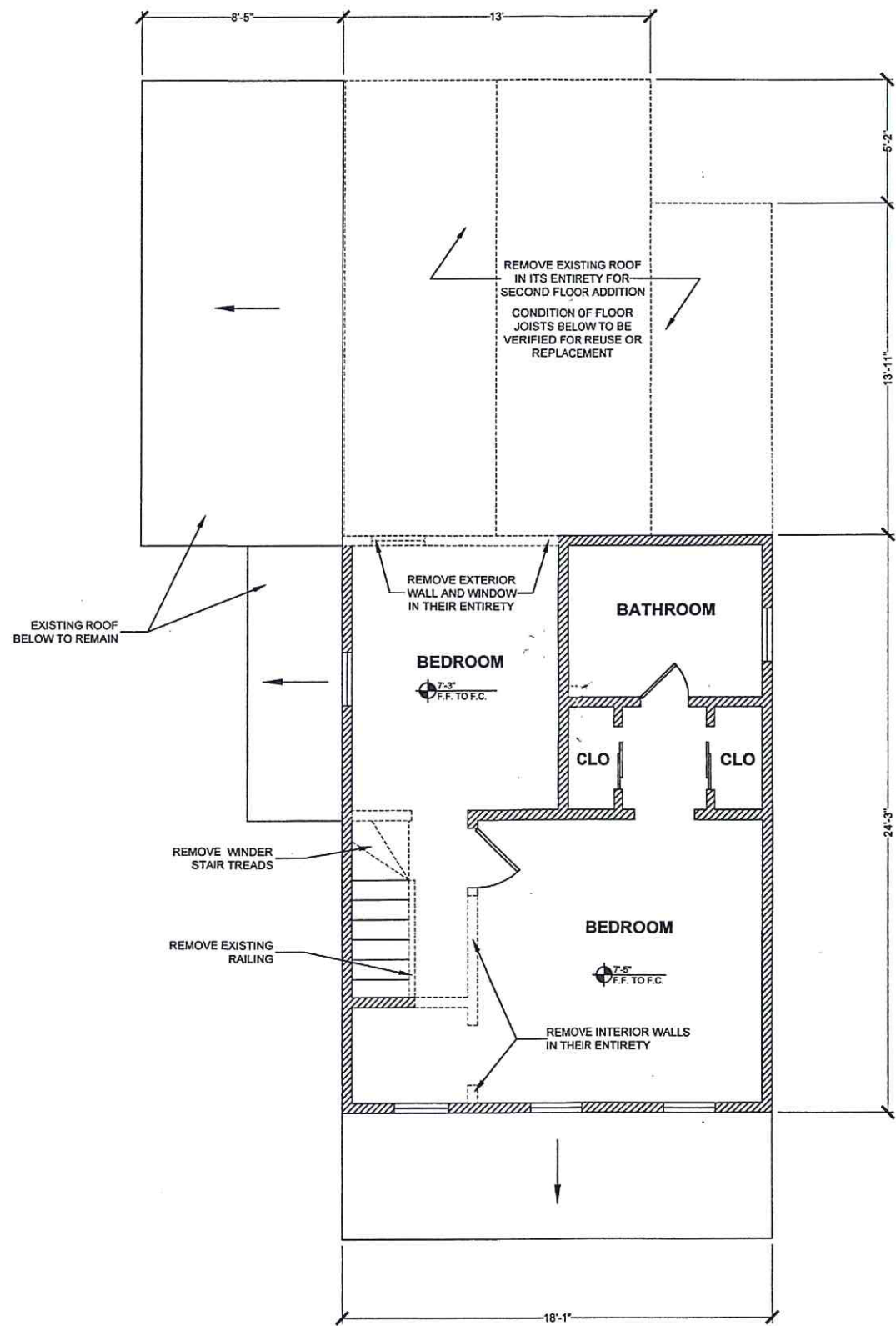
**SECOND STORY ADDITION**  
**237 6TH STREET**  
GREENPORT, NY 11944

**FIRST FLOOR DEMOLITION PLAN**

PROJECT: 2022-02  
DRAWN BY: RC  
OWNER: 237 6TH ST LLC  
DATE: APR. 12, 2022  
SCALE: 1/4" = 1'-0"  
SHEET NO:  
**2**

**RECEIVED**  
JUN 03 2022  
BY: .....

**SECOND FLOOR DEMOLITION PLAN**



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**LEGEND**

- DEMO
- EXISTING

**REVISIONS:**

**SECOND STORY ADDITION**  
**237 6TH STREET**  
 GREENPORT, NY 11944

**SECOND FLOOR**  
**DEMOLITION PLAN**



**PROJECT:** 2022-02

**DRAWN BY:** RC

**OWNER:** 237 6TH ST LLC

**DATE:** APR. 12, 2022

**SCALE:** 1/4" = 1'-0"

**SHEET NO:**

**3**

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BY: .....

REVISIONS:

SECOND STORY ADDITION  
**237 6TH STREET**  
 GREENPORT, NY 11944

PROPOSED  
 FIRST FLOOR PLAN

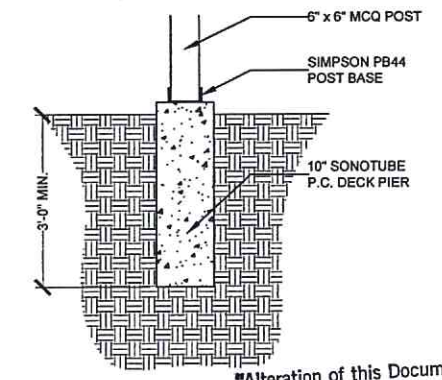
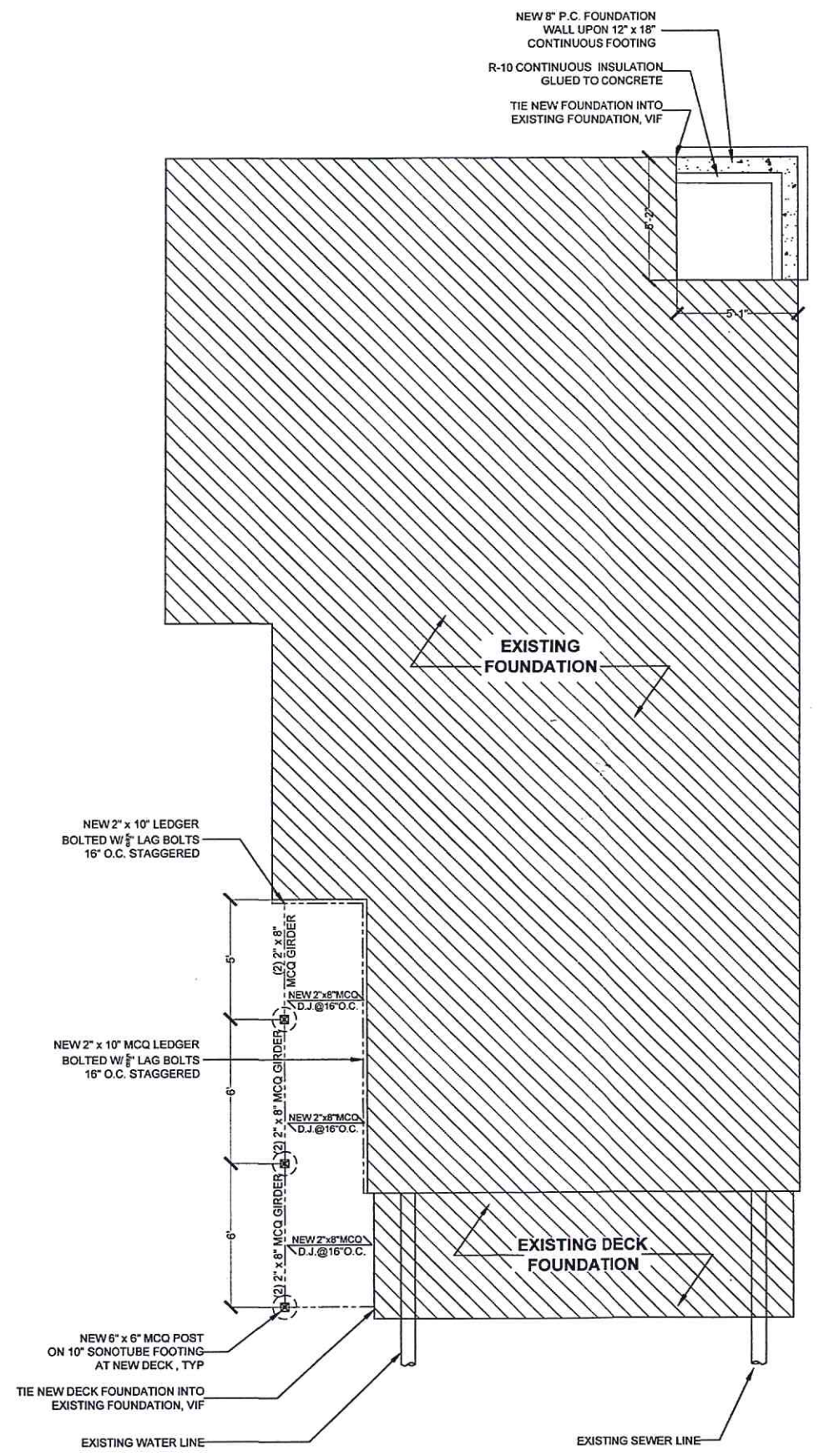


PROJECT: 2022-02  
 DRAWN BY: RC  
 OWNER: 237 6TH ST LLC  
 DATE: APR. 12, 2022  
 SCALE: 1/4" = 1'-0"  
 SHEET NO:

**4**

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**PROPOSED FOUNDATION PLAN**

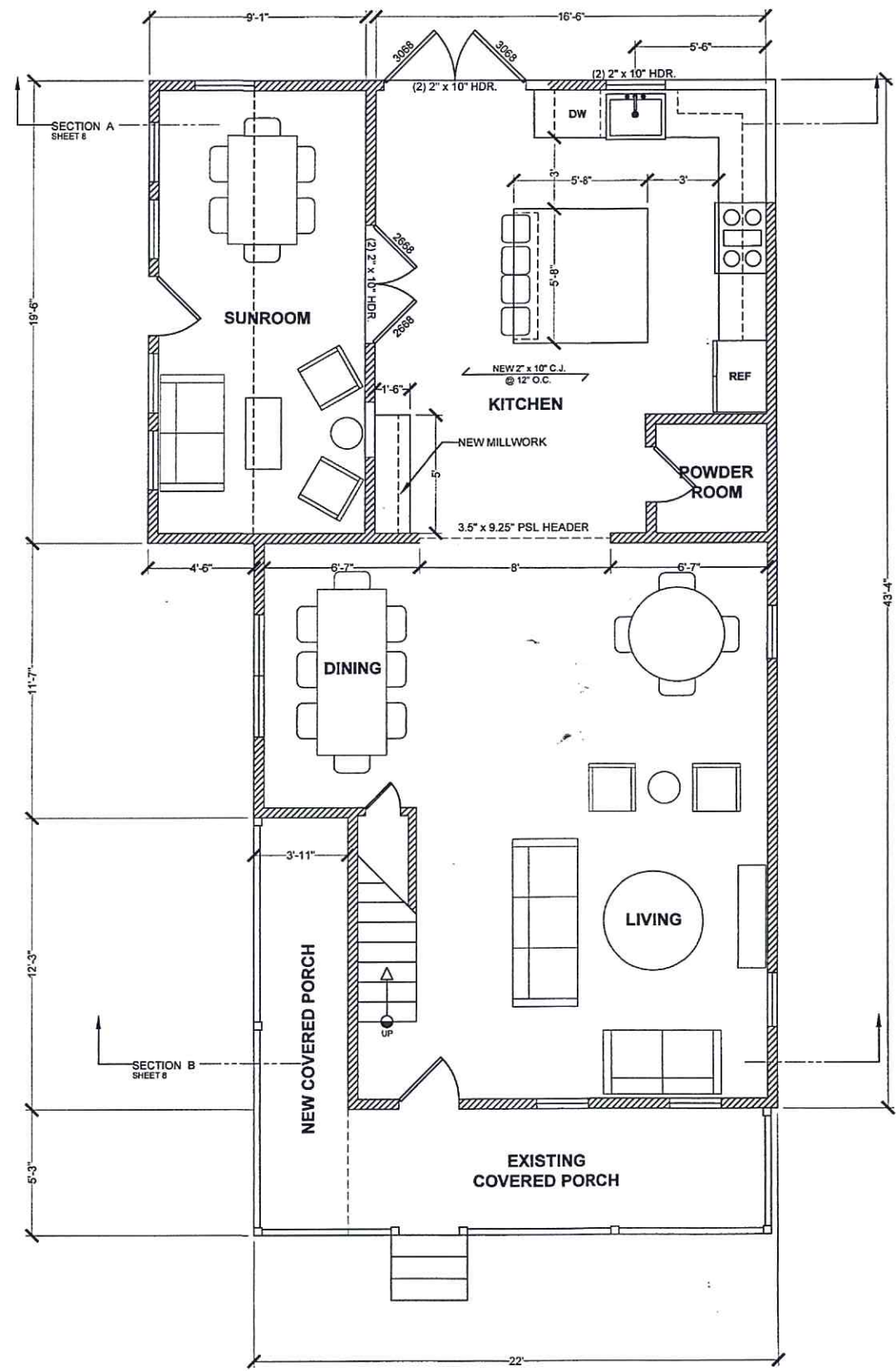


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**LEGEND**

	NEW
	EXISTING





**PROPOSED FIRST FLOOR PLAN**

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**NOTE: INSULATE NEW EXTERIOR WALLS**

**LEGEND**

	NEW 2x4 WALLS
	EXISTING 2x4 WALLS

REVISIONS:

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SECOND STORY ADDITION  
**237 6TH STREET**  
GREENPORT, NY 11944

PROPOSED  
FIRST FLOOR PLAN



PROJECT: 2022-02

DRAWN BY: RC

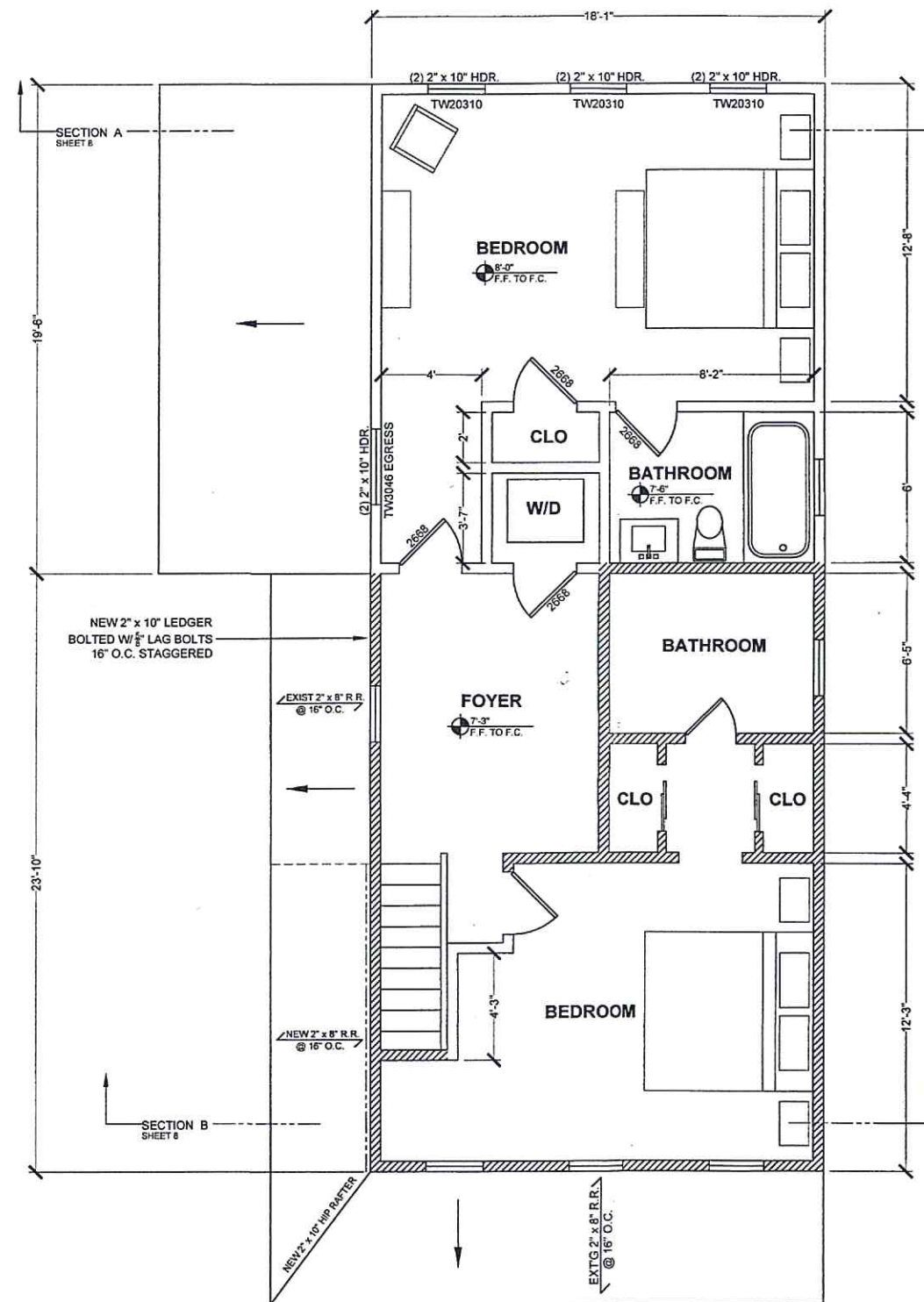
OWNER: 237 6TH ST LLC

DATE: APR. 12, 2022

SCALE: 1/4" = 1'-0"

SHEET NO:

**5**





PROPOSED SECOND FLOOR PLAN 

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**NOTE: INSULATE NEW EXTERIOR WALLS**

**LEGEND**

-  NEW 2x4 WALLS
-  EXISTING 2x4 WALLS

REVISIONS:

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SECOND STORY ADDITION  
**237 6TH STREET**  
GREENPORT, NY 11944

PROPOSED  
SECOND FLOOR PLAN



PROJECT: 2022-02

DRAWN BY: RC

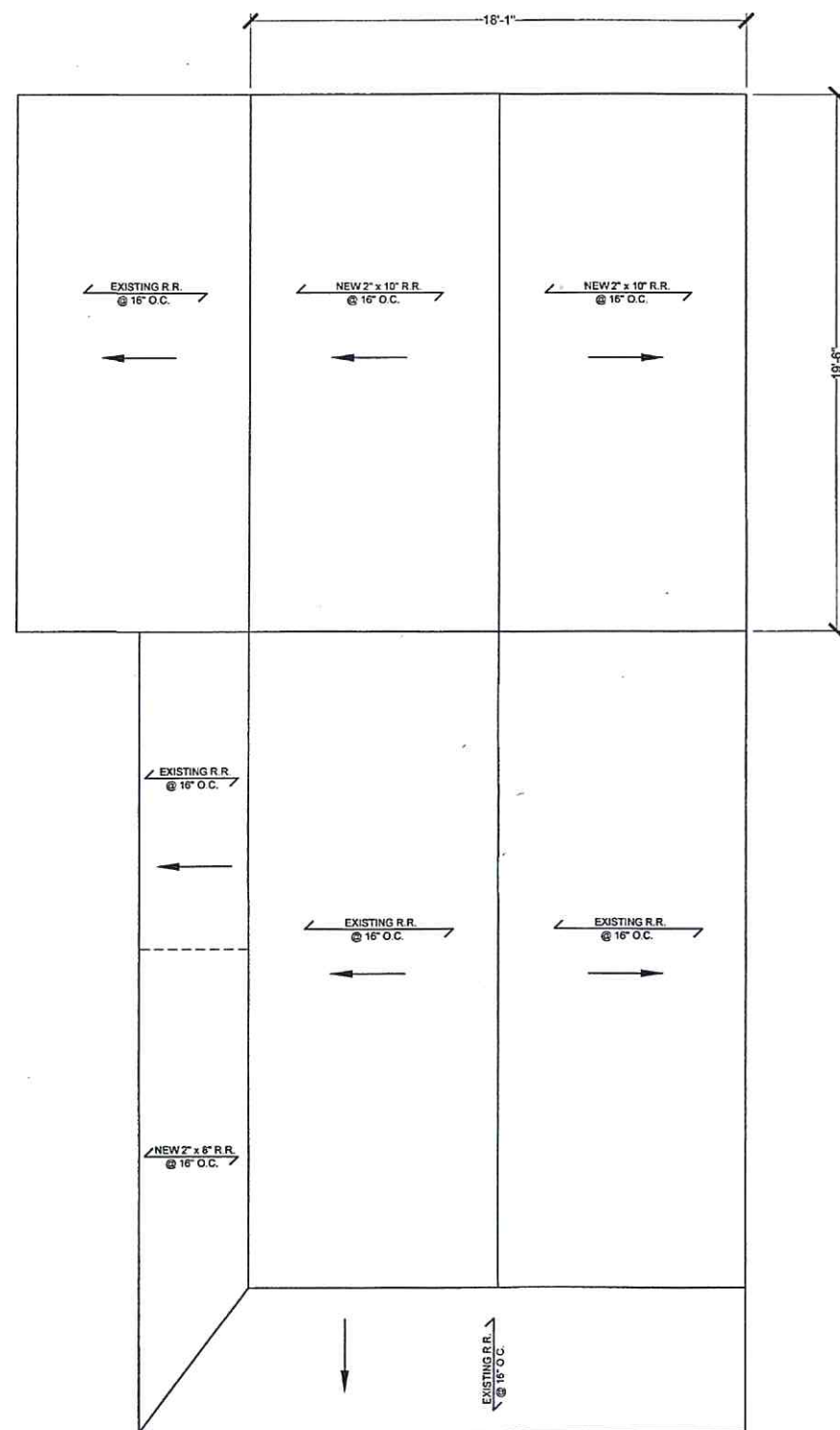
OWNER: 237 6TH ST LLC

DATE: APR. 12, 2022

SCALE: 1/4" = 1'-0"

SHEET NO:

**6**



**PROPOSED ROOF PLAN**



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SECOND STORY ADDITION  
**237 6TH STREET**  
GREENPORT, NY 11944

PROPOSED  
ROOF PLAN



PROJECT: 2022-02

DRAWN BY: RC

OWNER: 237 6TH ST LLC

DATE: APR. 12, 2022

SCALE: 1/4" = 1'-0"

SHEET NO:

**7**

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SECOND STORY ADDITION  
237 6TH STREET  
GREENPORT, NY 11944

PROPOSED SECTION



PROJECT: 2022-02

DRAWN BY: RC

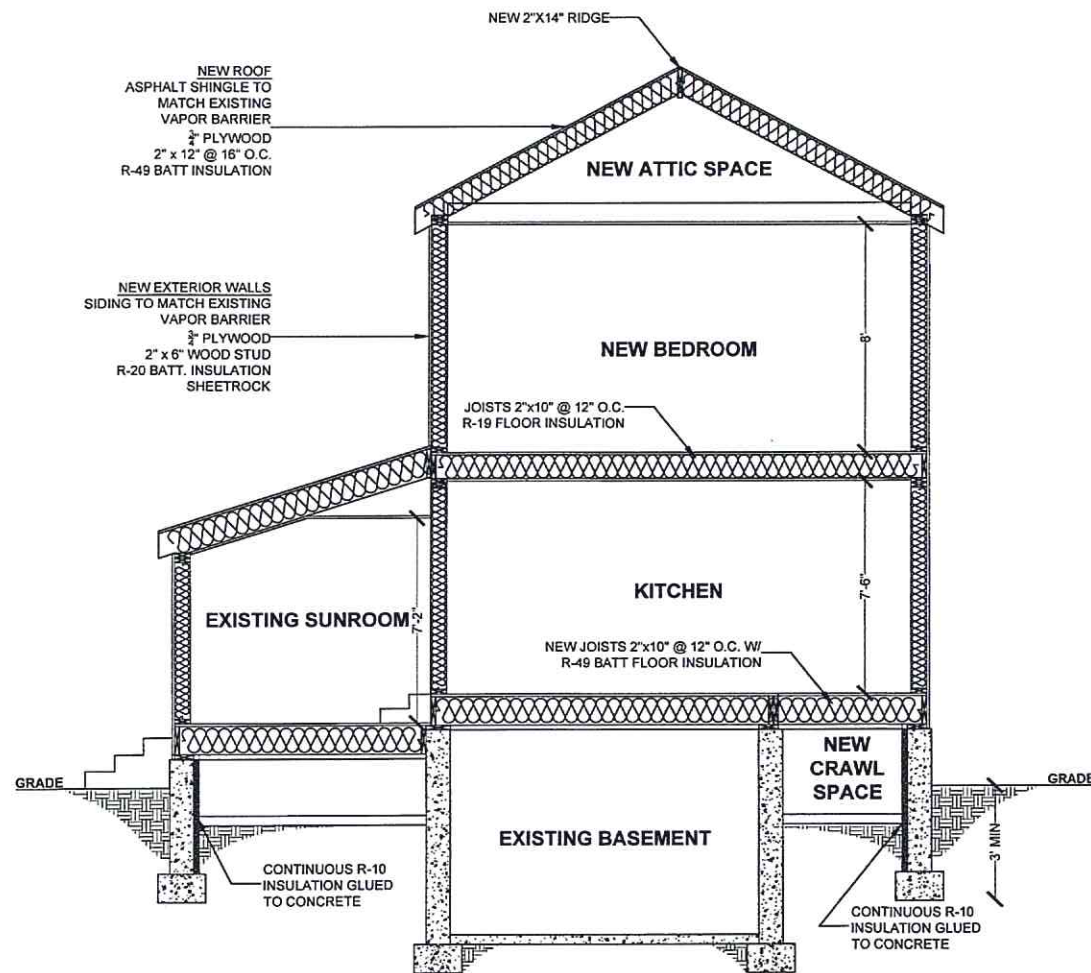
OWNER: 237 6TH ST LLC

DATE: APR. 12, 2022

SCALE: 1/4" = 1'-0"

SHEET NO:

8

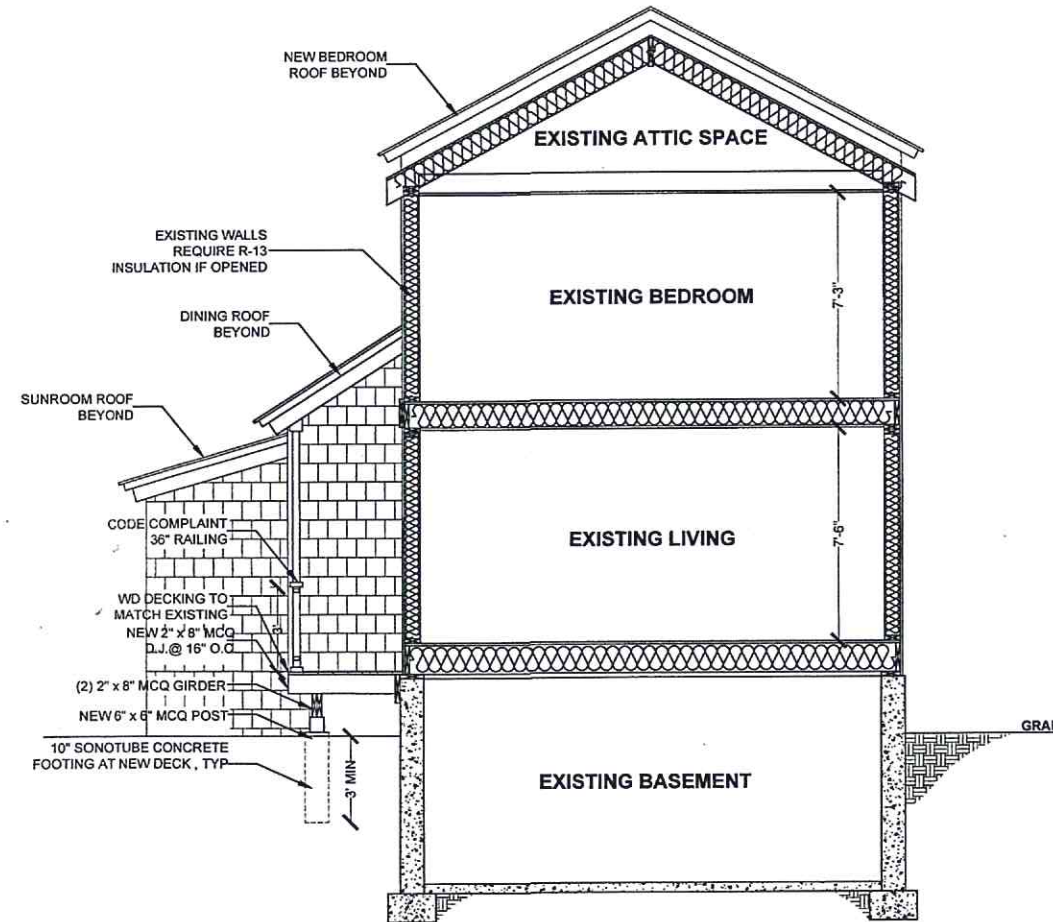


**NOTE:**

Existing construction: IECC 2018, R-503.1.1

New construction to be prescriptive design as 402.1.

**PROPOSED SECTION-A**



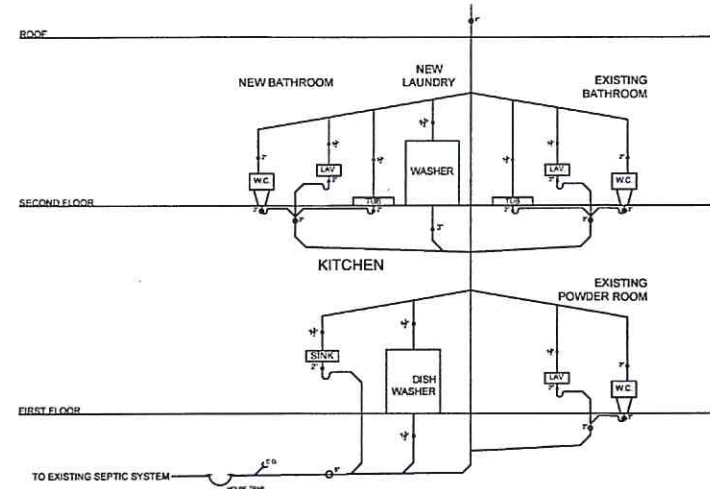
**NOTE:**

Existing construction: IECC 2018, R-503.1.1

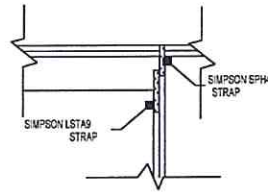
New construction to be prescriptive design as 402.1.

**PROPOSED SECTION-B**

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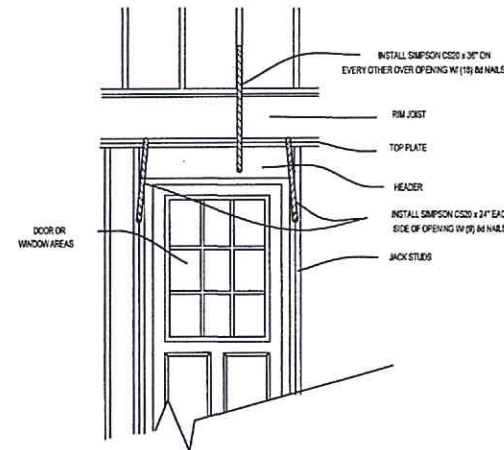


1 PLUMBING RISER  
N.T.S.

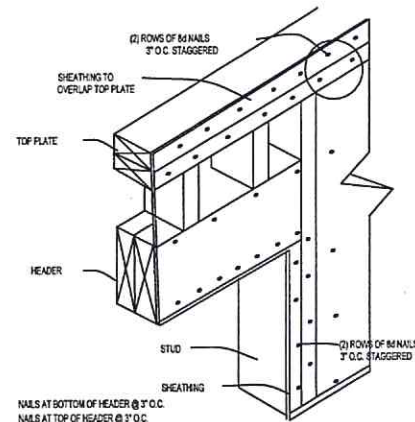


Typical Window and Door  
Header Strapping Detail  
Each Corner

2 TYP. WINDOW & DOOR STRAPPING  
N.T.S.



3 CS STRAPS AT OPENINGS  
N.T.S.



4 SHEATHING NAILING AT OPENINGS  
N.T.S.

TOWN OF SOUTHOLD  
TABLE R301.2(1)  
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
20 PSF	140	B	SEVERE	3'-0"	M-H	S-M	11	YES	NONE

DESIGN CRITERIA BEING USED: 2020 INTERNATIONAL RESIDENTIAL BUILDING CODE AND 2020 UNIFORM NEW YORK STATE CODE SUPPLEMENT

NAILING SCHEDULE (WOOD FRAME CONSTRUCTION MANUAL 2018, PAGES 149 AND 193)		
Joint Description	Number of nails	Nail Spacing
<b>Roof Framing</b>		
Rafter to top plate (Toe Nailed)	3-8d	Per Rafter
Ceiling Joist to top plate (Toe Nailed)	3-8d	Per joist
Ceiling Joist to Parallel Rafter (Face Nailed)	6-16d	Each lap
Ceiling Joist Laps over Partitions (Face Nailed)	6-16d	Each lap
Collar Tie to Rafter (Face Nailed)	3-8d	Per Tie
Blocking to Rafter (Toe Nailed)	3-8d	Each end
Sim Board to rafter (End Nailed)	2-16d	Each end
<b>Wall Framing</b>		
Top Plate to Top Plate (Face Nailed)	2-16d	Per Foot
Top Plate at Intersections (Face Nailed)	4-16d	Joints ea. Side
Stud to Stud (Face Nailed)	2-16d	24" o.c.
Header to Header (Face Nailed)	16d	18" o.c. along edges
<b>Floor Framing</b>		
Joist to Sill, Top Plate or Girder (Toe Nailed)	4-8d	Per Joist
Bridging to Joist (Toe Nailed)	2-8d	Each End
Blocking to Joist (Toe Nailed)	2-8d	Each End
Blocking to Sill or Top Plate (Toe Nailed)	3-16d	each block
Ledger Strip to Beam (Face Nailed)	3-16d	each joist
Joist on Ledger to Beam (Toe Nailed)	3-8d	per joist
Band Joist to Joist (End Nailed)	3-16d	per joist
Band Joist to Sill or Top Plate (Toe Nailed)	2-16d	per foot
<b>Roof Sheathing</b>		
Structural Panels	6d	3" Edge / 4" Field
Diagonal Board Sheathing	1"x6" or 1"x8"	2-8d Per Support
	1"x10" or wider	3-8d Per Support
<b>Ceiling Sheathing</b>		
Gypsum Wallboard	5d coolers	7" Edge / 10" Field
<b>Wall Sheathing</b>		
Structural Panels	8d	3" Edge / 4" Field
Fiberboard Panels	7/16"	8d 3" Edge / 6" Field
	25/32"	8d 3" Edge / 6" Field
Gypsum Wallboard	5d coolers	7" Edge / 10" Field
Hardboard	8d	6" Edge / 12" Field
Particleboard Panels	8d	6" Edge / 12" Field
Diagonal Board Sheathing	1"x6" or 1"x8"	2-8d per support
	1"x10" or wider	3-8d per support
<b>Floor Sheathing</b>		
Structural Panels	1" or less	8d 3" Edge / 4" Field
	greater than 1"	10d 3" Edge / 4" Field
Diagonal Board Sheathing	1"x6" or 1"x8"	2-8d per support
	1"x10" or wider	3-8d per support

REVISIONS:

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SECOND STORY ADDITION  
237 6TH STREET  
GREENPORT, NY 11944

DETAILS



PROJECT: 2022-02

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DATE: APR. 12, 2022

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SHEET NO:

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