# PROJECT: Alteration to Greenporter Hotel

# **ANVK NY Holdings Trust**

### 326 Front Street, Greenport NY 11944

Phone: 631 477 0066 e-mail: drivera@thesuccessiongroup.com

Site Address: 326 Front Street, Greenport NY 11944

Tax Map #: 1001-4-8-29, 1001-4-8-30, 1001-4-8-31

### architect: studio a/b architects 651 WEST MAIN STREET **RIVERHEAD, NY 11901** T: 631 591 2402 F: 631 323 1426

e-mail: info@studioabarchitects.com

## SUMMARY OF WORK

THE SUMMARY OF WORK SHALL INCLUDE BUT IS NOT LIMITED TO:

- 1. PHASE 1:WEST BASEMENT ALTERATION1.1 CREATE MULTI-PURPOSE ROOM
- 1.2 CREATE EXERCISE ROOM 1.3 OTHER RELATED ROOMS AND AREAS: LOUNGE WITH COMPUTER DESKS, HALLWAY, (2) BATHROOMS AND CLOSETS
- 1.4 ALL RELATED HVAC, PLUMBING AND ELECTRICAL WORK
- 2. PHASE 2 (FUTURE PROJECT): ADDITION OF LOBBY AND THIRD FLOOR 2.1 ADD ENTRY LOBBY CONNECTING WEST AND EAST WINGS, INCLUDING BUT NOT LIMITED TO: - A STAIRCASE CONNECTING FIRST THROUGH THIRD FLOORS.
- AN OPEN STAIRCASE FROM LOBBY TO THE WEST BASEMENT - A NEW ELEVATOR; EXISTING ELEVATOR ALSO TO BE EXTENDED TO THE THIRD FLOOR 2.2 ADD THIRD FLOOR WITH (22)-UNITS ON THE EXISTING EAST AND WEST WINGS AND A CONNECTION
- CORRIDOR, WITH COVERED ACCESS DECK, AND EXTENSIONS OF EXISTING STAIRCASES. 2.3 CONVERT EXISTING (3)-UNITS ON THE SECOND FLOOR, SOUTH OF EAST WING, TO A LIBRARY. INCLUDING BUT NOT LÍMITED TO:
- A DUMBWAITER CONNECTING THE LIBRARY FROM THE KITCHEN BELOW
- SECOND FLOOR SOUTH DECK ON EXISTING FIRST FLOOR DECK 34 (EXISTING AND AFTER PHASE 1), 53 (AFTER PHASE 2) 2.4. NUMBERS OF UNITS: 2.5. RENTABLE UNITS ARE # OF UNITS LESS THREE (3 UNITS ARE USED PERSONALLY)
- NUMBERS OF RENTABLE UNITS: 31 (EXISTING AND AFTER PHASE 1), 50 (AFTER PHASE 2) 2.6 INSTALL PHOTOVOLTAIC SOLAR PANELS
- 2.7 ALL RELATED HVAC, PLUMBING AND ELECTRICAL WORK

THE OWNER RETAINS THE RIGHT TO INCLUDE OR REMOVE ANY ITEMS ABOVE FROM THE CONTRACT.

# **OPTIONS**

THE FOLLOWING ARE OPTIONAL BID ITEMS. PLEASE PROVIDE SEPARATE ESTIMATES ADDING OR SUBTRACTING FROM THE BID PRICE FOR EACH ITEM. THE OWNER WILL DECIDE FINAL INCLUSION OR NOT IN CONTRACT.

OPT. 1 (PHASE 2) CREATE FULL BASEMENT UNDER THE NEW LOBBY, INSTEAD OF CRAWLSPACE

## **GENERAL NOTES:**

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING

1. ALL WORK OF THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE (NYS) BUILDING CODE NYS ENERGY CONSERVATION CONSTRUCTION CODE

- NYS EXISTING BUILDING CODE
- NYS FIRE CODE NYS PLUMBING CODE

NYS MECHANICAL CODE

NYS FUEL GAS CODE APPLICABLE SUFFOLK COUNTY HEALTH REGULATIONS AND STANDARDS

VILLAGE OF GREENPORT REGULATIONS OTHER AGENCIES HAVING JURISDICTION ON THE WORK OF THIS CONTRACT,

2. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY, ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED.

3. THE ARCHITECT/ENGINEER HAS INDICATED AND ESTIMATED CERTAIN CONDITIONS EITHER NOT SHOWN OR NOT CONSIDERED RELIABLE ON OLDER DRAWINGS FURNISHED TO THE ARCHITECT, OR NOT MEASURABLE DUE TO ABSENCE OF DRAWINGS, OR INACCESSIBLE TO VERIFY IN THE FIELD PRIOR TO PREPARING THE DRAWINGS.

4. ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT, EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING TO REMAIN".

5. COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.

6. THE CONTRACTOR SHALL DISCONNECT AND/OR REMOVE ANY EXISTING PLUMBING, ELECTRICAL FIXTURES, WIRE CONDUITS, OR OTHER WORK WHICH MIGHT INTERFERE WITH THE WORK OF THIS CONTRACT.

7. THE CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED OR EXPOSED SURFACES DUE TO CONTRACT WORK. ALL NEWLY INSTALLED, PATCHED WORK AND ALL AFFECTED AREAS SHALL BE FINISHED SO THAT THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS MATCHES SCHEDULED CONDITIONS.

8. FURNISH ALL NECESSARY NEW MATERIALS AT NO ADDITIONAL COST TO THE CLIENT FOR THE FOLLOWING CONDITIONS a) ANY ALREADY COMPLETED WORK THAT HAS BEEN REMOVED OR DAMAGED IN ORDER TO PERFORM THE CONTRACT WORK. b) TO FURNISH THE WORK OF THIS CONTRACT IN WORKMANLIKE MANNER

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.

10. DETAILS NOT SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION INSTALLATION OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY CLIENT OR ARCHITECT/ENGINEER SHALL BE INCLUDED IN THE WORK THE SAME WAY AS IF HEREIN SPECIFIED OR INDICATED.

11. WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL BE CONSTRUCTED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL,

12. FIRE STOPPING SHALL BE INSTALLED AT ALL PENETRATIONS OF FIRE RATED CONSTRUCTION AS PER SPECIFICATIONS.

13. SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.

14. DIMENSIONS ON PLANS ARE INDICATED FROM SURFACE TO SURFACE BETWEEN WALLS, PARTITIONS AND OTHER ITEMS EXCLUSIVE OF FINISHES, UNLESS NOTED OTHERWISE.

15. PROVIDE GUARDS, RAILS, FENCES, CATCH PLATFORMS, DECKING, NIGHT LIGHTING, ETC., AS REQUIRED BY THE REGULATING AGENCIES TO PROVIDE ADEQUATE PROTECTION.

### GENERAL NOTES (CONTINUED): 16. THE CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY

### 17. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM ALL SPACES AND ADJACENT SPACES THE EXTERIOR OF THE BUILDING AT ALL TIMES.

18. THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR REQUIRED INSPECTIONS, PERMIT(S), FEES, LICENSE AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

20. ADDITIONAL NOTES WHICH ARE APPLICABLE TO THE PROJECT MAY BE FOUND THROUGHOUT THE CONTRACT DOCUMENTS.

21. COPYRIGHT © 2019, STUDIO A/B ARCHITECTS THE ARCHITECTURAL DESIGNS AND DRAWINGS ARE THE PROPERTY OF STUDIO A/B ARCHITECTS AND WERE PREPARED AS AN INSTRUMENT OF SERVICE TO THE OWNER AT HIS/HER REQUEST. THEY MAY NOT BE DUPLICATED OR USED IN PART OR IN WHOLE FOR ANY OTHER LOCATION, PURPOSE, PROJECT OR OWNER WITHOUT THE EXPRESS, WRITTEN CONSENT OF STUDIO A/B ARCHITECTS

# CONTROLLED INSPECTIONS:

GREENPORT BUILDING DEPARTMENT

LEAST 72 HOURS BEFORE THE SPECIFIC WORK COMMENCES.

# SITE SAFETY AND PROTECTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SAFETY ISSUES, MEETING ALL JURISDICTIONAL AND OSHA REQUIREMENTS.

2. SITE SAFETY PROTECTIONS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, EGRESS, SCAFFOLDING, FIRE PROTECTION. TRIP HAZARDS PROTECTION, ETC. THEY SHOULD ADDRESS ANY POTENTIAL INTERACTION BETWEEN THE EXISTING USE, GENERAL PUBLIC AND EXPOSURE TO THE CONSTRUCTION PROCESS.

# **BUILDING DEPARTMENT NOTES:**

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT.

- . ALL WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE TOWN AND ARCHITECT/ENGINEER OF ANY PORTIONS OF THE WORK IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.
- 2. ALL MATERIALS, ASSEMBLIES, FORMS METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS: a) THEY SHALL HAVE BEEN ACCEPTABLE TO THE GREENPORT BUILDING DEPARTMENT.
- b) THEY SHALL HAVE BEEN ACCEPTED FOR THE USE UNDER THE PRESCRIBED TEST METHODS BY THE REGULATING AGENCIES.
- 3. MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
- a) THEY SHALL CONFORM WITH EITHER THE APPLICABLE CODES OR b) THEY SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E119, STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS AND ACCEPTED BY THE [GREENPORT] TOWN BUILDING DEPARTMENT (OR)
- c) THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE. ALL MASONRY UNITS SHALL CONFORM TO THE BUILDING CODE.
- THE BUILDING CODE. 6. ALL NEW WORK SHALL COMPLY WITH ANSI 117.1 2017 AMERICAN NATIONAL STANDARD
- ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES. 7. ALL NEW INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200, SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450, AS PER SECTION
- 803 (NYS BUILDING CODE). ALL NEW THERMAL AND SOUND-INSULATING MATERIALS SHALL COMPLY WITH SECTION 807 (NYS BUILDING CODE)
- 9 THE CONTRACTOR IS RESPONSIBLE FOR FILING APPLICATIONS AND OBTAINING PERMITS FOR SCAFFOLDING, ANY OTHER CONSTRUCTION EQUIPMENT OR PUBLIC PROTECTIVES REQUIRED TO ENSURE SAFETY OF OPERATION.

# BUILDING CODE COMPLIANCE:

- I. CLASSIFICATION OF WORK: ALTERATION LEVEL 2 (PHASE 1) AND ADDITION (PHASE 2) 2. USE(S) AND OCCUPANCY CLASSIFICATION(S): R1. HOTEL A2, RESTAURANT (AS PARTIALLY EXISTING ON THE EAST WING FIRST FLOOR) B, BUSINESS (PHASE 1 WEST BASEMENT ALTERATION)
- 3. CONSTRUCTION TYPE: IIIB (AS EXISTING ON THE EAST WING) VB (AS EXISTING ON THE WEST WING, AND PROPOSED PHASE 2 ADDITION)
- 4. FIRE PROTECTION SYSTEMS: EXISTING SPRINKLERS TO BE ADJUSTED FOR NEW PLAN (NYS EXISTING CODE SEC 804, NYSBC 903) AREA OF ADDITION IN PHASE 2 TO BE ENTIRELY SPRINKLERED (NYSBC 903) AREA OF BUILDING:
- 5.1 AREA OF BUILDING(S) ALLOWED (NYSBC 506.2, 506.3, TABLE 506.2) W = (L1xW1 + L2xw2 + L3xW3 ...)/F = (12111.36) / 234.5 = 46.8 > 30 Max.: W = 30  $I_f = [F/P - 0.25] W/30 = [234.5 / 867.9 - 0.25] \times 30/30 = 0.0202$  $A_a = [A_t + (NS \times I_f)] \times S_a$

VB A<sub>a</sub> = [21,000SF + (7,000SF x .0202)] x 3 = 63,424 SF A<sub>a-single</sub> = [21,000SF + (7,000SF x .0202)] x 1 = 21,141 SF = [48,000SF + (16,000SF x .0202)] x 2 = 96,646 SF IIIB A<sub>a</sub>  $A_{a-single} = [48,000SF + (16,000SF \times .0202)] \times 1 = 48,323 SF$ 

5.2 PROPOSED AREA OF BUILDING PHASE 1 (NO CHANGE, AS EXISTING) WEST WING:

1FL	3,851 SF 925 SF	VB VB			ENCLOSE DE STAIR	
251	925 SF 4,059 SF				ENCLOSE	
2FL	,	VB				
	903 SF	VB	00	151	DE STAIR	CASE
EAST WINC						
1FL	3,490 SF	IIIB			ENCLOSE	
	1,003 SF	VB			DE STAIR	
2FL	3,246 SF	IIIB	AR	EΑ	ENCLOSE	D WI
	1,298 SF	VB	OU	TSI	DE STAIR	CASE
VB 1FL SU	BTOTAL:	5,779	SF	<	21,141	0
2FL SU	BTOTAL:	6,260	SF	<	21,141	0
VB TOT	TAL:	12,039	9 SF	<	63,424	0
IIIB 1FL SUI	BTOTAL:	3,490	SF	<	48,323	0
2FL SU	BTOTAL:				48,323	0
IIIB TO	TAL:	6,736				0
PHASE 2 A		-,			,	_
	1,285 SF	VB	LO	BB۱	(	
	590 SF	VB			LOFT	
	334 SF	VB				
3FI	8,387 SF	VB			ENCLOSE	
51 L	2,462 SF	VB			DE ACCE	
	ER PHASE :		00	101		00 0 0
VB 1FL SU		7,064	сE	<	21,141	0
						-
	BTOTAL:	7,184				0
	BTOTAL:	10,81				0
VB TOT	AL:	25,06	1SF	<	63,424	0

NO CHANGE IN PHASE 2 OK

VB+IIIB GRAND TOTAL: 31,797 SF < 63,424 OK (USING MOST STRINGENT REQUIREMENT) 6. ALARMS: SMOKE ALARM AND CO ALARMS TO BE ADJUSTED FOR NEW PLAN. ALL PROPOSED SLEEPING UNITS AND AREA SHALL BE EQUIPPED WITH SMOKE AND CO ALARMS. (NYSEBC 804.4.1) (NYSBC 907)

HEIGHT 33.0', 3 STORIES,

8. STRUCTURAL DESIGN CRITERIA: NO STRUCTURAL CHANGES IN PHASE 1. ENGINEERED IN PHASE 2 9. PLUMBING RISER DIAGRAM: SEE PLUMBING DRAWINGS

10. ENERGY CODE COMPLIANCE (PRESCRIPTIVE)

UNAUTHORIZED PARTIES. SITE WILL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY

19. MINIMALIZATION, SEPARATION, AND RECYCLING OF WASTE ARE ENCOURAGED.

CONTROLLED INSPECTIONS AND TESTING AS REQUIRED BY THE DOCUMENTS, CLIENT AND THE

THE CONTRACTOR MUST NOTIFY THE ARCHITECT OR ENGINEER FOR CONTROLLED INSPECTIONS AT

5. THE CONTRACTOR SHALL OBTAIN EQUIPMENT USE PERMITS REQUIRED IN ACCORDANCE WITH

(AS EXISTING, EXISTING FIRST AND SECOND FLOOR, PROPOSED THIRD FLOOR)

Equation 5-4 Equation 5-5

Equation 5-2

ITH WALLS ES AND ACCESS DECK ITH WALLS ES AND ACCESS DECK

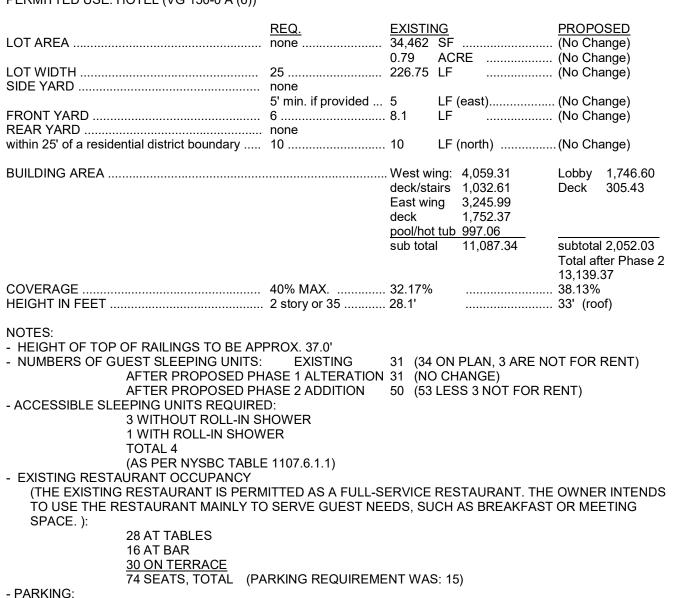
ITH WALLS ES AND ACCESS DECK ITH WALLS ES AND ACCESS DECK

ACCESS BRIDGE

STAIRCASE

# ZONING:

ZONED: C-R RETAIL COMMERCIAL PERMITTED USE: HOTEL (VG 150-0 A (6))



ADDITIONAL PARKING NOT REQUIRED IN C-R AS PER ARTICLE V 150-12 C, PROJECT IS EXEMPT FOR OFF-STREET PARKING REQUIREMENTS FOR SITE DEVELOPED AS OF 1/1/1991. HOWEVER, IF PARKING WERE CALCULATED WITHOUT THE EXEMPTION IN A C-R DISTRICT, AS A REFERENCE: EXISTING REQUIRED:

HOTEL RENTAL ROOMS: 31 PARKING SPACES RESTAURANT, 74 SEATS: 15 PARKING SPACES PARKING SPACES 51 PARKING SPACES EXISTING PARKING: EXISTING CAR PARKING SLOTS, USING 8.2'+/- X 20' EACH SPACE: (35) PLUS (2)-VALET/RENTAL PARKING, PLUS (1) LOADING AND (1) DROP-OFF, TOTAL 39 ACCESSIBLE PARKING AREAS SHOULD INCLUDED IN (35) (NOT IDENTIFIED ON SITE). CURRENTLY USE GRAVEL AS PER A PLANNING BOARD APPROVAL 6/2/05. PROPOSED REQUIRED: HOTEL RENTAL ROOMS: 50 PARKING SPACES

PARKING SPACES

55 PARKING SPACE

- BREAKFAST ROOM FOR GUEST USE ONLY: 0 PARKING SPACES STAFF: TOTAL: PROPOSED PARKING:
- PROPOSED CAR PARKING SLOTS, USING 9' X 20' EACH SPACE: (29) PLUS (2)- COMPACT CAR PARKING SPACES (9' X 17'+/-), PLUS (1) LOADING AND (1) DROP-OFF, TOTAL 33. (2)-ACCESSIBLE PARKING SPACES ON CONCRETE. CONNECTED WITH CONCRETE WALK. ARE INCLUDED IN (29).
- PARKING NOTES: PREVIOUS SUBMITTAL DATED 2/21/02 INCORPORATED (29) PARKING SLOTS PLUS
- DROP-OFF AND LOADING PREVIOUS SUBMITTAL DATED 7/1/03 INCORPORATED (34) PARKING SPOTS PLUS DROP-OFF AND LOADING
- ACCESSIBLE PARKING REQUIRED: 2 FOR 26-50 TOTAL PARKING SPACE (NYSBC TABLE1106.1) ROUGHLY 47% OF THE GUESTS DO NOT ARRIVE BY CAR.

# OTHER REGULATORY REQUIREMENTS:

Water Service: DEC: HPC: Planning Board:

ZBA:

Connected to Public Water SC Health Department: Not Required. connected to Greenport Village Sewer District Not Required Not Required Required Not Required

# LOCATION MAP:



1.	ALL WO
CO	DES, NY
DEI	PARTME
CO	DES.
2.	ALL EXT
120	MPH
3.	SAFETY
4.	ALL CO
5.	INTERIC
AS	STOOLS

3 SEC. GUSTS.

ALUM.
& APPROX.
ARCH.
@ BLD'G
B.O.
C.I. CL
CLG. CLO.
CLO. CMU
COL. CONC.
CONC. CONT.
C.J.
COR. CU.FT.
CU.YD.
DET DIA.
DIM.
DIM DR.
DR. DWG
E.J. ELEV.
ELEC.
ENT. EQ.
EQUIP.
EXIST. EXT.
FF FIN.
FL.
FLASH'G F.P.
F.F. FT
GA GALV.
G.C.
GL. GWB
000

## 1 / 7 2 / 7 3 / 7 4 / 7

7 / 7

# LIST OF DRAWINGS:

- Title Sheet T-01 Phase 2 Egress Plans G-01 A-01 Site Plans A-02 Landscape Layout 5 / 7 A-03 Floor Plans 1 6 / 7 A-04 Floor Plans 2
  - A-05 Roof Plan, Street Views, and Elevations

# studio a/b architects

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Owner: **ANVK NY Holdings Trust** 326 Front Street, Greenport NY 11944 Phone: (631) 477-0066

## WINDOW NOTES:

RK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING S. DEPT, OF LABOR, INDUSTRIAL LABOR CODE, RULE 21, HEALTH CODE, FIRE INT REGULATIONS, NBFU AND UTILITY CODES, OSHA CODES AND NYS BUILDING

TERIOR WINDOWS AND GLASS BLOCK TO MEET LARGE MISSILE IMPACT TESTING AND 3 SEC. GUSTS. ( GLASS REQUIRED IN ACCORDANCE WITH NYSBC SECTIONS 714.2.6, 714.3, AND 2406. NTINUOUS INTEGRAL PULLS TO HAVE ROUNDED AND SMOOTH EDGES. OR WINDOW SILL STOOLS AND APRONS SHALL HAVE CLOSED END CAPS, SAME GAUGE

# DOOR NOTES:

. ALL EXTERIOR DOORS SHALL HAVE A MAXIMUM OPENING FORCE OF 8.5 LBS, AS PER ANSI 117.1 2. THE HARDWARE FOR EXTERIOR CORRIDOR AND LOBBY DOORS SHALL HAVE PANIC HARDWARE AND ALL DOORS SHALL HAVE HANDICAPPED ACCESSIBLE HARDWARE. 3. ALL EXTERIOR DOORS WITH GLAZING TO MEET LARGE MISSILE IMPACT TESTING AND 120 MPH

4. ALL DOORS TO HAVE SAFETY GLASS IN COMPLIANCE WITH SECTION 2406 (NYSBC)

## OTHER NOTES:

1. SEE STRUCTURAL DRAWINGS FOR ALL CONCRETE, PANEL, AND STEEL NOTES AND TESTS. 2. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED NOTES.

H.P.

HVAC

HORZ.

ICMU

INSUL.

INT

L.F.

IΡ

MAT.

MECH.

MAX.

MIN.

MTD.

MTL

N.I.C.

NOM.

NTS.

PLY

O.C.

RAIL'G

REINF.

R.D.

RM

SF

SCIP

SIM.

SPEC.

S.S. STD.

STL.

TEL.

TH

T.O.

TYP.

U.O.N.

V.I.F.

W

W/

WD

W.R.B.

REQD.

NO.

# **ABBREVIATIONS:**

ABOVE FINISHED FLOOR	
LUMINUM	
ND	
PROXIMATELY	
RCHITECT	
UILDING	
BOTTOM OF	
CAST IRON	
ENTER LINE	
EILING	
CLOSET	
CONCRETE MASONRY UNIT	
COLUMN	
CONCRETE	
CONTINUOUS	
DETAIL	
DIAMETER	
DIMENSION	
DIMMER	
OOR	
RAWING	
XPANSION JOINT	
LEVATION	
LECTRIC	
NTRY	
QUAL	
QUIPMENT	
XISTING	
XTERIOR	
INISHED FLOOR	
INISH OR FINISHED	
LOOR	
LASHING	
IRE PROOFING	
EET	
GAUGE	
GALVANIZED	
GENERAL CONTRACTOR	
BLASS	
SYPSUM WALL BOARD	

H OR HT HEIGHT HIGH POINT HRDWD HARDWOOD HEATING VENTILATING AND AIR CONDITIONING HORIZONTAL INSULATED CONCRETE MASONRY UNIT INSULATION INTERIOR LINEAR FOOT LOW POINT MATERIAI MAXIMUM MECHANICAL MINIMUM MOUNTED METAI NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE PLYWOOD ON CENTER RADIUS RAILING REINFORCING ROOF DRAIN REQUIRED ROOM STRUCTURAL CONCRETE INSULATED PANEL SQUARE FEET SIMILAR SPECIFICATION STAINLESS STEEL STANDARD STEEL TELEPHONE THICKNESS TOP OF TYPICAL UNLESS OTHERWISE NOTED VERIFY IN FIELD WIDTH WITH WOOD WATER RESISTIVE BARRIER

	Description	Date
7	Correction on Summary of Work and revision on Parking Condition Details	9/19/19
		<u> </u>

# PROJECT: THE GREENPORTER HOTEL

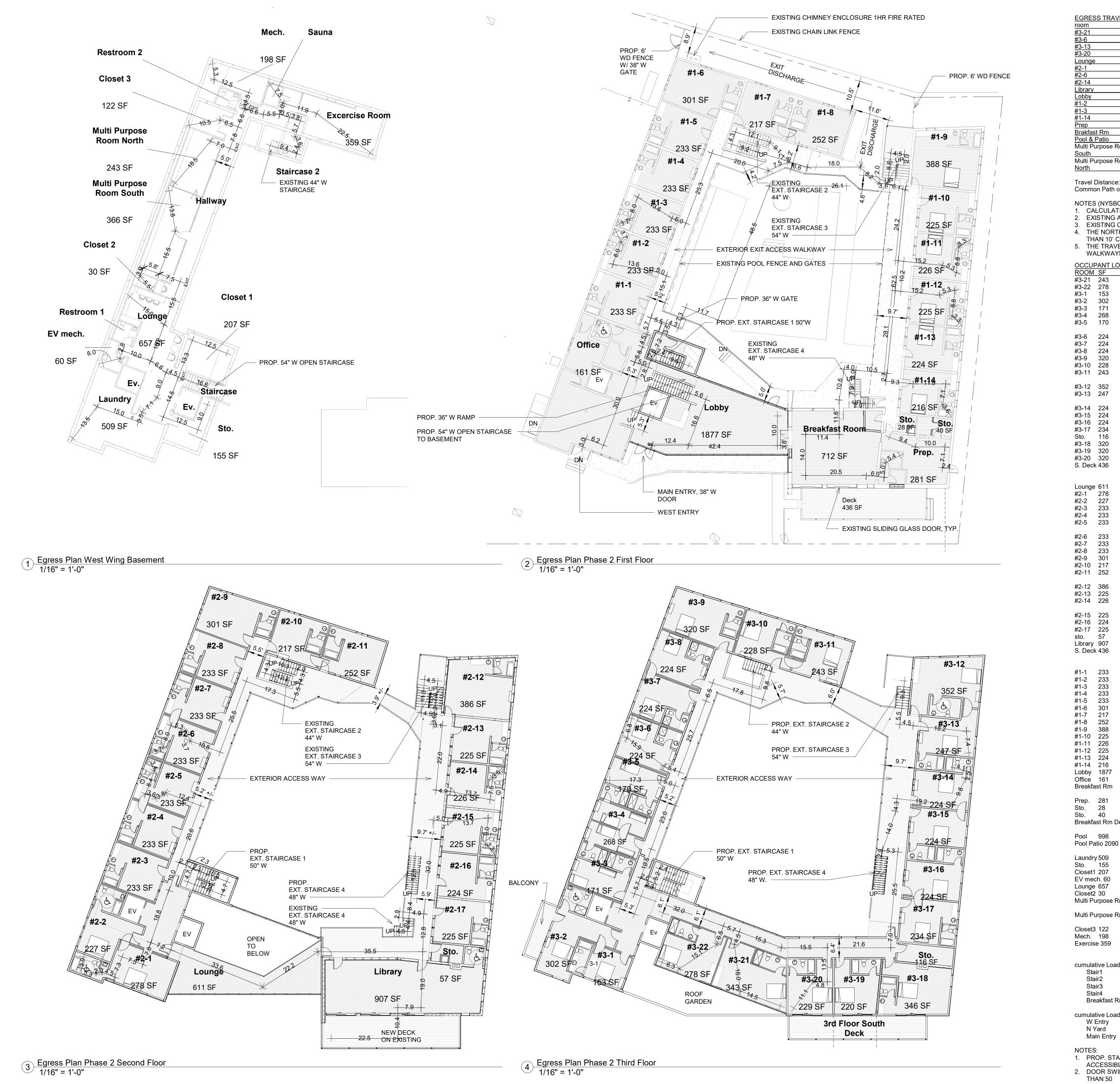
# **Title Sheet**

Project number
Date
Drawn by
Checked by

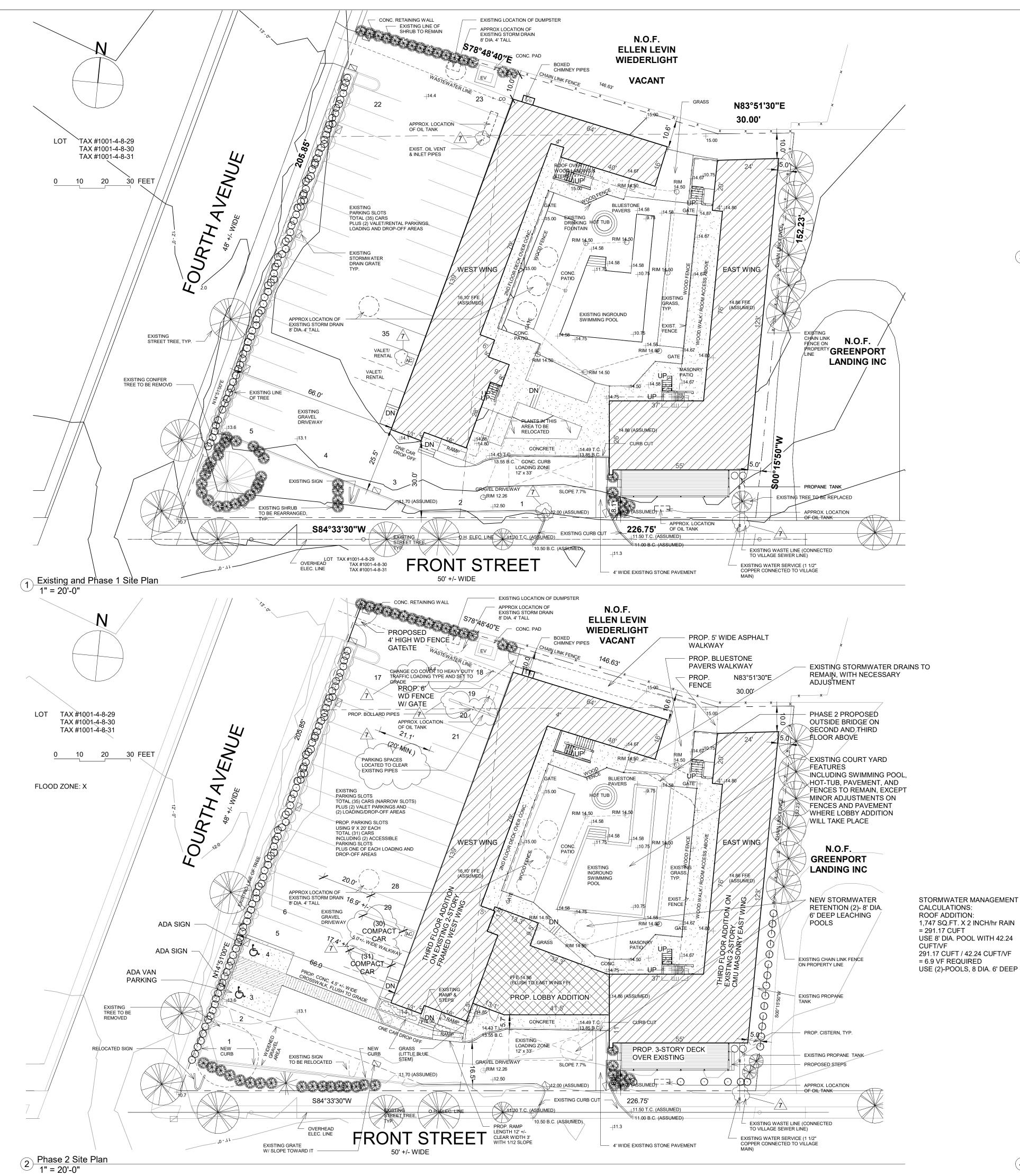
3/13/2019 HA GB -()^ As indicated

1826

Scale

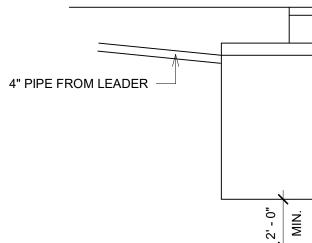


room #3-21	L DISTANCE CALC travel distan 201.1	nce common trave 35	Staircase 1-Main Entry	studio a/b architects
#3-6 #3-13 #3-20	<u>182.5</u> <u>102.7</u> 222.2	28.1 25.6 27.4	Staircase 2-North Yard Staircase 3-North Yard Staircase 4-North Yard	Riverhead, NY 11901 631 591 2402
Lounge #2-1	<u>150.9</u> 141.9	<u>40.8</u> 31.8	Staircase 1-Main Entry Staircase 1-Main Entry	631 323 1426 info@studioabarchitects.com
#2-6 #2-14 Library	<u>145.3</u> <u>92.7</u> 182.7	31.5 29.6 71.8	Staircase 2-North Yard Staircase 3-North Yard Staircase 4-North Yard	
Lobby #1-2	54 100.6	0 30.3	Main Entry West Entry	Owner:
#1-3 #1-14 Prep	<u>117.7</u> <u>110.9</u> 28.9	<u> </u>	<u>North yard</u> North yard Own side door	ANVK NY Holdings Trust
Brakfast Rm Pool & Patio	<u>168.4</u> 158.6	50.9 93.6	North Yard Main Entry	326 Front Street, Greenport NY 11944 Phone: (631) 477-0066
Multi Purpose Roc South Multi Purpose Roc	112.8	36.8	Staircase-Main Entry	
North	128.7	25.5	Staircase 2-North Yard	
Travel Distance: C Common Path of <sup>-</sup>		(250' Max) e exit allowed (125' Max	x w/ sprinkler NYSBC T1017.2) x w/ sprinkler NYSBC T1006.2.1)	
	INS SHOW ROOM		DISTANCE FOR EACH EXIT ACCESS STAIRWAY.	
3. EXISTING CO	OURTYARD WALK	WAY COMPLIES WITH	YS COMPLY WITH <i>EXIT ACCESS STAIRWAYS. EXIT ACCESS</i> REQUIREMENTS WEEN WEST AND EAST WINGS WHERE WIDTH IS WID	)FR
THAN 10' CO 5. THE TRAVEL	MPLIES THE <i>EXI1</i> DISTANCE CALC	DISCHAGE REQUIRE	MENTS. (NYSBC 1028.4) XIT ACCESS STAIRWAYS, AND EXIT ACCESS COURTY,	
WALKWAYS. OCCUPANT LOA	D CALCULATIONS	):		
ROOM_SFc #3-21 243  _s	occupancy allowed sleeping 120	<u>sf occupants load E</u> 3 S	Staircase 1-W. Ent.	
#3-1 153 s	sleeping 120 sleeping 120 sleeping 120	2 S	Staircase 1-W. Ent. Staircase 1-W. Ent. Staircase 1-W. Ent.	
#3-3 171 s #3-4 268 s	leeping 120 leeping 120	2 S 3 S	Staircase 1-W. Ent. Staircase 1-W. Ent.	
	sleeping 120 sleeping 120		staircase 1-W. Ent. Staircase 2-N. Yard	
#3-7 224 s #3-8 224 s	leeping 120 leeping 120	2 S 2 S	Staircase 2-N. Yard Staircase 2-N. Yard	
#3-9 320 s #3-10 228 s	sleeping 120 sleeping 120	3 S 2 S	Staircase 2-N. Yard Staircase 2-N. Yard	
	sleeping 120 sleeping 120		Staircase 2-N. Yard Staircase 3-N. Yard	
#3-13 247 s	leeping 120	3 S	Staircase 3-N. Yard	
#3-15 224 s	sleeping 120 sleeping 120 sleeping 120	2 S	Staircase 4-N. Yard Staircase 4-N. Yard Staircase 4-N. Yard	
#3-17 234  s Sto.  116  s	sleeping 120 storage 300	2 S	Staircase 4-N. Yard Staircase 4-N. Yard Staircase 4-N. Yard	No.DescriptionDate4Egress Plan added6/4/19
#3-19 320 s	sleeping 120 sleeping 120	3 S	Staircase 4-N. Yard Staircase 4-N. Yard	
	leeping 120 Jnconcentrated Ass 15	embly	staircase 4-N. Yard	
•	ousiness 100	7 S	staircase 1-W. Ent.	
#2-2 227 s	leeping 120 leeping 120 leeping 120	2 S	Staircase 1-W. Ent. Staircase 1-W. Ent. Staircase 1-W. Ent.	
#2-4 233 s	sleeping 120 sleeping 120 sleeping 120	2 S	Staircase 1-W. Ent. Staircase 1-W. Ent.	
	sleeping 120		Staircase 2-N. Yard	
#2-8 233 s	sleeping 120 sleeping 120 sleeping 120	2 S	Staircase 2-N. Yard Staircase 2-N. Yard Staircase 2-N. Yard	
#2-10 217  s	sleeping 120 sleeping 120	2 S	Staircase 2-N. Yard Staircase 2-N. Yard	
	sleeping 120 sleeping 120		staircase 3-N. Yard Staircase 3-N. Yard	
#2-14 226 s	leeping 120	2 S	Staircase 3-N. Yard	
#2-16 224 s	sleeping 120 sleeping 120 sleeping 120	2 S	Staircase 4-N. Yard Staircase 4-N. Yard Staircase 4-N. Yard	
sto. 57 s	sleeping 120 storage 300 Reading 50	1 S	Staircase 4-N. Yard Staircase 4-N. Yard Staircase 4-N. Yard	
S. Deck 436 U	Inconcentrated Ass 15		Staircase 4-N. Yard	
	leeping 120 leeping 120		Vest Entry Vest Entry	
#1-3 233 s #1-4 233 s	sleeping 120 sleeping 120	2 N 2 N	Iorth Yard Iorth Yard	
#1-6 301 s	sleeping 120 sleeping 120 sleeping 120	3 N	Iorth Yard Iorth Yard Iorth Yard	
#1-8 252 s #1-9 388 s	leeping 120 leeping 120	3 N 4 N	lorth Yard Iorth Yard	
#1-11 226 s	sleeping 120 sleeping 120 sleeping 120	2 N	lorth Yard Iorth Yard Iorth Yard	
#1-13 224  s #1-14 216  s	leeping 120 leeping 120	2 N 2 N	lorth Yard Iorth Yard	
Office 161 E	Reading 50 Business 100 712 Unconcentr		/lain Entry Vest Entry	
Prep. 281 k	15 Kitchen 200	48 N 2 C	lorth Yard Dwn side door	
Sto. 40 s	storage 300 storage 300	1 N	/ain Entry /ain Entry	
Pool 998 p	ck 436 Unconcentr 15 pool 50	30 S 20 M	Steps to Grade Aain Entry	
Pool Patio 2090 d	leck 15	140 N	Iain Entry	
Sto. 155 s Closet1 207 s	ousiness 100 storage 300 storage 300	1 S 1 S	Staircase-Main Entry Staircase-Main Entry Staircase-Main Entry	THE GREENPORTER
EV mech. 60 s Lounge 657 b	storage 300 pusiness 100	1 S 7 S	Staircase-Main Entry Staircase-Main Entry	HOTEL
	torage 300 South 366 asseml 15	oly, unconcentrated	Staircase-Main Entry Staircase-Main Entry	
	North 243 asseml 15	oly, unconcentrated 17 S	staircase2-N Yard	
Mech. 198 s	storage 300 storage 300 exercise Rm 50	1 S	staircase2-N Yard staircase2-N Yard staircase2-N Yard	Phase 2 Egress Plans
Stair1	36(OL)x 0.3(inc	= min. width (NYSBC 10 h/OL) = 10.8 (inches): h/OL) = 8.4 (inches):	36" MIN. PROP. 50" OK	
Stair2 Stair3 Stair4	14(OL)x 0.3(inc	h/OL) = 8.4 (inches): h/OL) = 4.2 (inches): ch/OL) = 31.2 (inches):	36" MIN. EXISTING & PROP. 44" OK 36" MIN. EXISTING & PROP. 54" OK 44" MIN. EXISTING & PROP. 48" OK	
Breakfast Rm	Deck 30(OL)x 0.3	8(inch/OL)= 9 (inches):	36" MIN. EXISTING 36" OK.	Project number         1826           Date         3/13/2019
cumulative Loads W Entry N Yard	64(OL)x 0.15(in	0.15=min. width (NYSB0 ch/OL) = 9.6(inches): nch/OL) = 37.35(inches)	C 1005.3.2, 1010.1.1, T1020.2) Corridor 44", Door 32" MIN. EXISTING OK ): Corridor 44", Door 37.4" MIN. EXISTING & PROP. OK	Drawn by HA
Main Entry		nch/OL) = 37.35(inches); nch/OL) = 36.3(inches);		Checked by GB
			S COMPONENTS ALSO COMPLY WITH NYSBC 1009)	G-01
		IE DIRECTION OF EGR	RESS, EXCEPT WHEN THE OCCUPANT LOAD IS LESS	Scale As indicated



STREET SIDEWALK	23.8' 1/12 STONE PAVER RAMP	SIDEWALK EL. 13.85' B.O. CURB EL. 14.49' T.O. CURB	11' - 0" EXISTING RAMP TO EXISTING ENTRY	EXISTING WEST BUILDING FF EL. 16.1'	6 F 6 6	studio a/b archited 51 West Main Street, Riverhead, NY 11901 31 591 2402 31 323 1426 nfo@studioabarchitects.com	cts
EL. 12.0'	<u>DN</u>		1/12 CONCRETE RAM	ИР	c	Owner: ANVK NY Holdings Tru	st
STREET SIDEWALK	1/12 STONE PAVER RAMP (EXISTING)	SIDEWALK/ ACCESSIBLE PARKING SIDE SPACE EL. 13.9'	PROP. 1/12 CONC. RAMP	PROPOSED LOBBY BUILDING FF EL. 14.86'	3 F	26 Front Street, Greenport NY 11944 Phone: (631) 477-0066	
EL. 12.0'		25	11.4' +/-	_			
PROPOSED SECT		EL. 13.85					
Section thru Acc N.T.S.	ess route						
					<u>No.</u> 2	Description Misc. Revisions	<b>Date</b> 5/2/19
					6 7	Accessible Parking Revision Correction on Summary of Work and revisio on Parking Condition Details	8/10/19 n 9/19/19
OFFIT	RECESSED LED FIXTURE AT THE LC						
RACE, PAINTED _ANDSCAPE: ALL EXI HASE 2 ADDITION WIL	ORTH OF PARKING: 6' H. WOOD BARI STING LANDSCAPE TO REMAIN EXC LL COVER; NEW SHORT BLUE STEM	EPT WHERE WILL BE					
HE NEW LOBBY	E NEW ENTRY, EAST OF EXISTING W	EST WING, TO					
		<ul> <li>HEAVY DUTY H20 LOADING LOCKING GRATE TO GRADE</li> </ul>			Т	OJECT: HE GREENPOR IOTEL	ΓER
4" PIPE FROM LEAD		H20 LOADING 6' 1 8' DIA. LEACHING POOL			S	ite Plans	
					Pro	ject number	1826
	MIN.				Dat Dra	e 🤅	3/13/2019 HA
		GROUNDWATER	_		Che	ecked by	GB

3



A-01

Scale

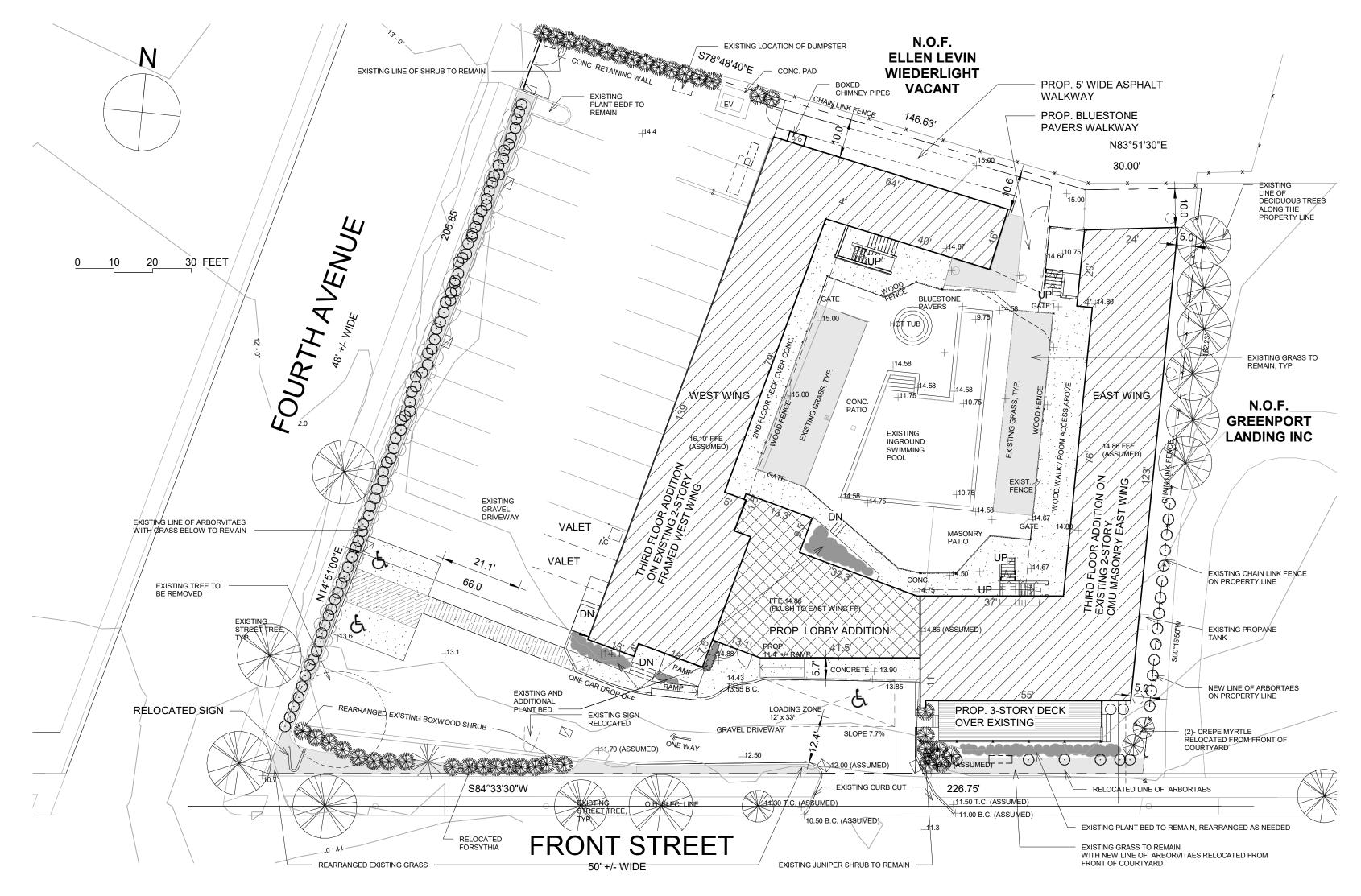
As indicated

1826

HA

GB

3/13/2019



<sup>1</sup> Phase 2 Site Plan, Landscape Layout 1" = 20'-0"

		Plant Types	
Plant #	Growth Habit	Plant Name	Plant Note
	1	1	T
1	Tree	Arborvitae	Replant and new
2	Tree	Crepe Myrtle	Replant
3	Shrub	Forsythia	Replant
4	Shrub	Boxwood	Existing to be rearranged
5	Shrub	Juniper	Existing to remain
6	Shrub	Azalea	in Plant Bed
7	Shrub	Rose bush	in Plant Bed
8	Grass	Little Bluestem	in Plant Bed
9	Forb/herb	Lavender	in Plant Bed
10	Forb/herb	Wild Fennel	in Plant Bed
11	Forb/herb	Chive	in Plant Bed
12	Forb/herb	Climbing Raspberry	in Plant Bed
13	(Flowering Plant)	Astilbe	in Plant Bed
14	(Flowering Plant)	Campanula	in Plant Bed
15	Forb/herb	Lady's Mantle	in Plant Bed
16	Forb/herb	Japanese Anemone	in Plant Bed
17	Forb/herb	Coneflower	in Plant Bed
18	Forb/herb	Nepeta (Catmint)	in Plant Bed
19	Forb/herb	Periwinkle	in Plant Bed

# studio a/b architects

651 West Main Street, Riverhead, NY 11901 631 591 2402 631 323 1426 info@studioabarchitects.com

Owner:

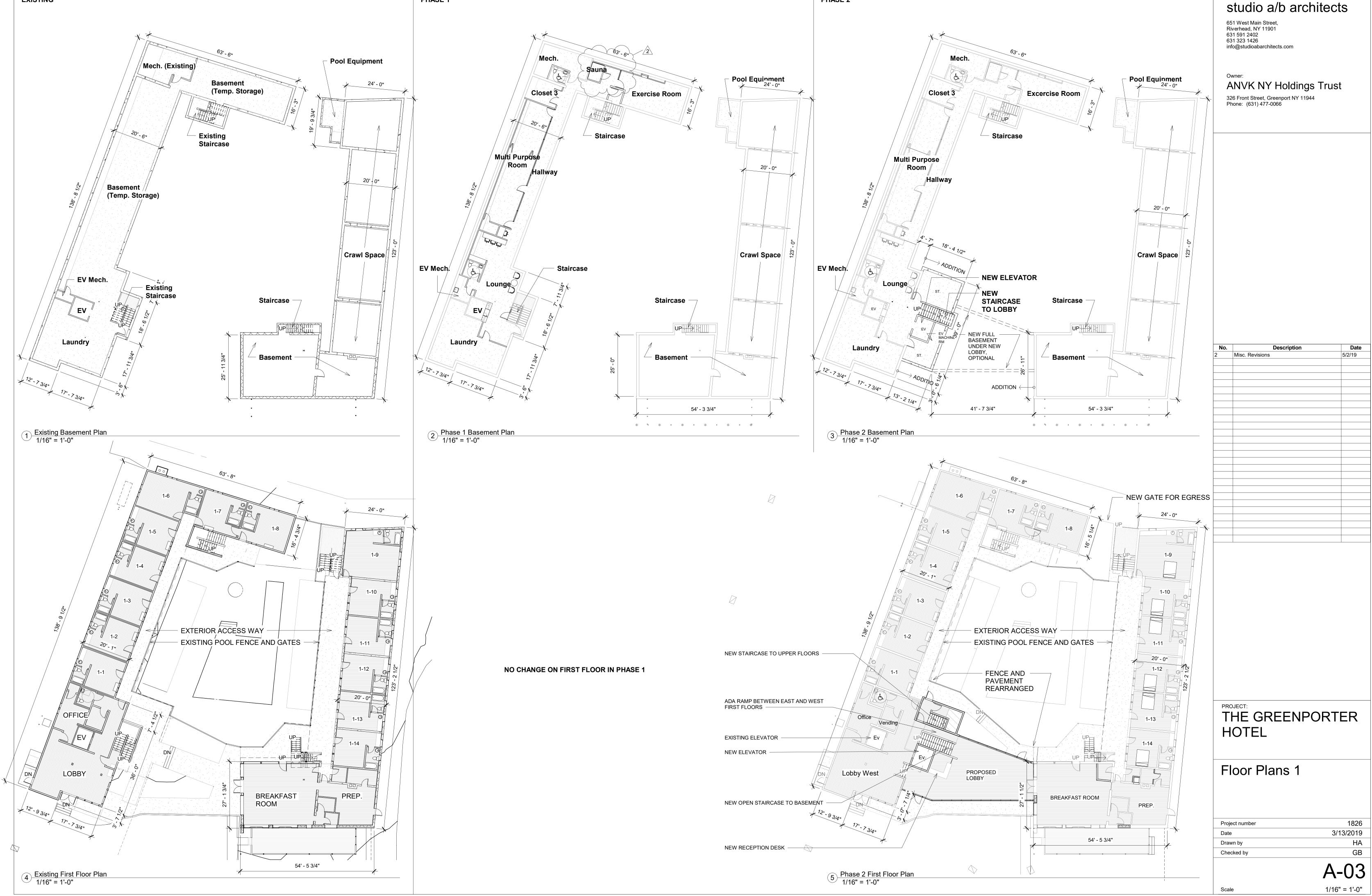
ANVK NY Holdings Trust 326 Front Street, Greenport NY 11944 Phone: (631) 477-0066

No.	Description	Date
3	Misc. Revisions	5/24/19
Т	DJECT: HE GREENPO OTEL	ORTER
La	andscape Lay	out
		4000
	ect number	1826
Date	e wn by	3/13/2019 HA
		GB
	cked by	

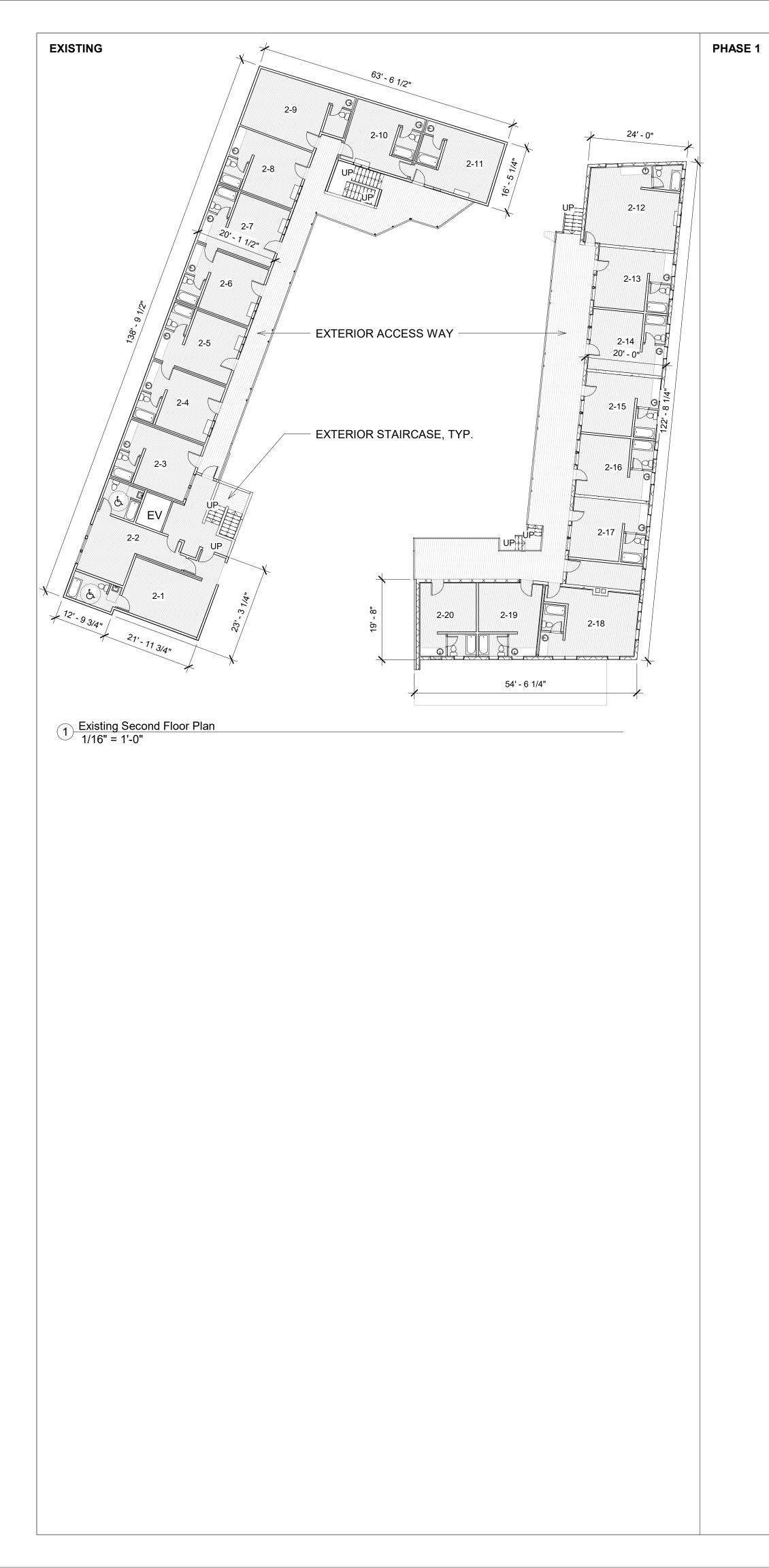
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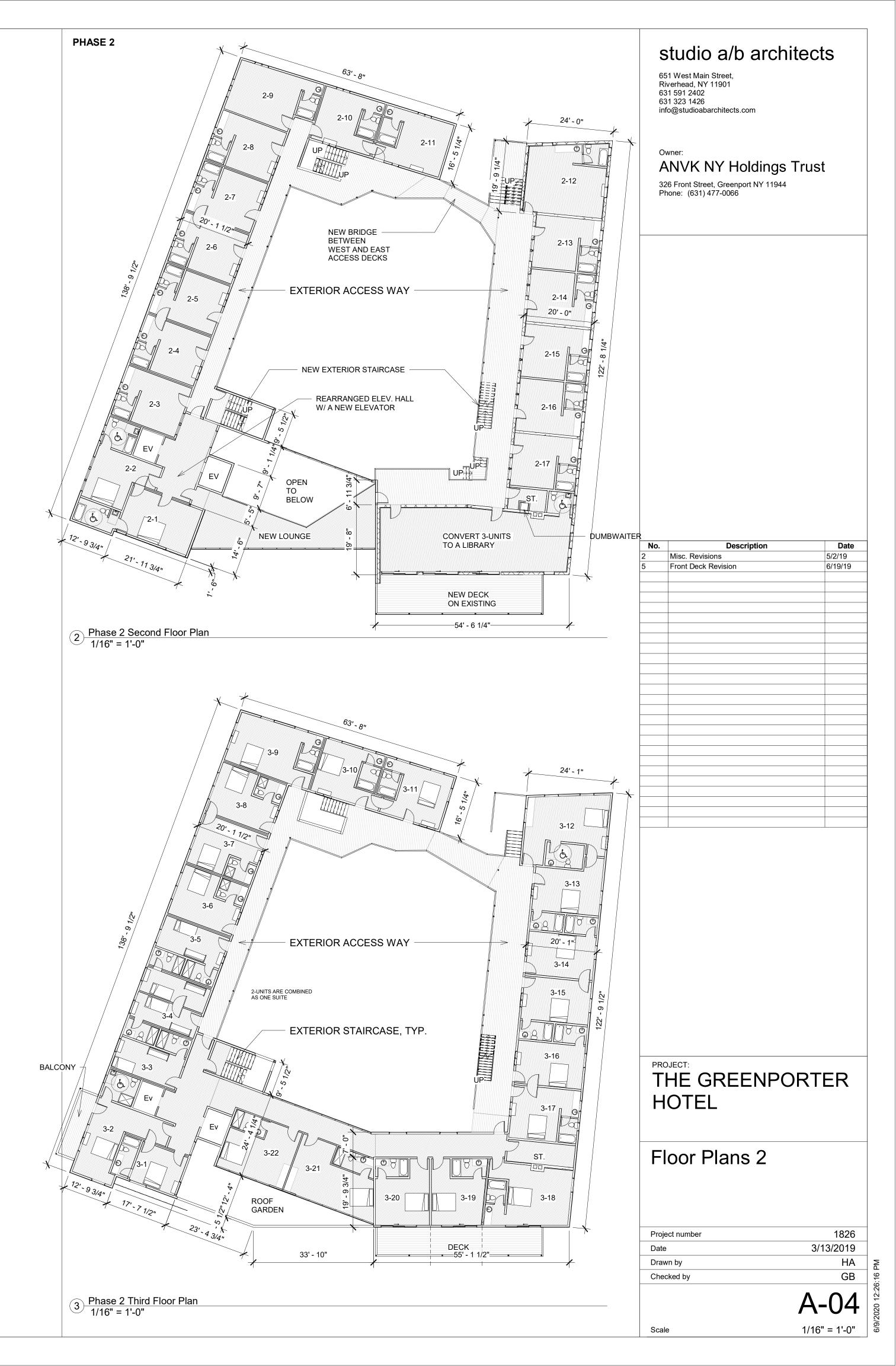


PHASE 1









NO CHANGE ON SECOND FLOOR IN PHASE 1

