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May 17, 2022

Village of Greenport
Planning Board
236 Third Street
Greenport, NY 11994
Attn: Village of Greenport Planning Board

RE: Greenport Inn
200 Main Street, Greenport
SCTM: 1001-004-10-16
R&M No. 2021-225

Dear Board Members:

R&M Engineering is in receipt of the site plan comment letter from L.K. McLean Associates, P.C. dated April 8, 2022, pertaining to the above referenced project. We have incorporated the recommendations by the Village's Planning Consultant L.K. McLean Associates, P.C. The following comment/response letter outlines our revisions and responses to the issues raised:

- A traffic and pedestrian safety study will be provided per the recommended scope.
- The plans have been revised to include two (2) loading/unloading stalls on-site along East Front Street. The loading/unloading area is supplemented with ADA compliant ramps and sidewalks for access to and from the building. Additionally, the plans propose five (5) parking stalls on the south and east sides of the building.
- As previously mentioned, a traffic and pedestrian safety study will be conducted during peak traffic times and during the busier summer season. The study will provide adequate data to enhance pedestrian safety measures along Front Street, Main Street, and East Front Street.
- It is understood that additional evaluation will occur upon the Planning Board's receipt of the revised plans and traffic study.
- The signed/sealed survey has been included herein this resubmission package.
- The property zoning analysis, updated parking calculations, setback dimensions, and dimensions of the courtyard have been included in the Conceptual Alignment Plan, sheet CP-1, prepared by R&M Engineering and included herein this resubmission package.
- Architectural elevations for each building have been included herein this resubmission package.
- The site development plans are in an early stage, and more detailed information regarding outdoor lighting, landscaping/screening, and stormwater management will be provided in the future.

The property Owner is committed to working with the Village to provide a very high-quality Inn on this site that is safe, historically sensitive, and enhances the vibrant character that is the Village of Greenport. We believe the revised drawings along with the above information address the comments and provide an incredibly thoughtful design that compliments the historic aspects of the Village. If you have any questions, please feel free to contact our office.

Sincerely,
R&M Engineering



Matthew K. Aylward, PE

HF 2 Partners, LLC

May 16, 2022

Village of Greenport
Planning Board
236 Third Street
Greenport, NY 11994

Re: Greenport Inn – 200 Main Street, Greenport, NY 11944

Dear Board Members,

HF2 Partners are in receipt of the site plan comment memo from L.K. McLean Associates, P.C. dated April 8, 2022, pertaining to the above referenced project. Below, we have responded to the Village's Planning Consultant L.K. McLean Associates, P.C. per Section 1: USE of the Memo.

The following comment/response letter outlines our revisions and responses to the observations raised:

The applicant shall submit a written statement clarifying the following:

1) Operations & Personnel:

- What is the general nature of operations, and what will employee responsibilities will be?
 - Objective is to operate as a quiet inn tucked into the heart of the village. There will be very few employees as the inn will be operated using the latest technology to communicate with guests as well as allow said guests to check in to and out of their rooms, provide driving directions, general communications, etc. Employee responsibilities will be limited to one front desk supervisor team member and depending on occupancy levels, up to two housekeepers.
- What is the maximum number of full-time and part-time employees that may be on- site at one time?
 - At our peak period of July and August:
 - 1 full time front desk supervisor team member
 - 2 full time housekeepers
- What is the total amount of staff, and their responsibilities, that will be necessary to operate the inn?
 - The operation will be highly seasonal which means that on certain days of the year there will be no guests and therefore

maybe one staff member will be in the hotel doing cleaning, organizing, etc. However, during peak periods of July and August, a staff member would be at the front desk 24 hours a day while 1 maybe 2 housekeepers are necessary to clean rooms for one eight-hour period.

- In the case of staff that is shared by other properties, would they be accessing this proposed site via car, and if so, where would they park?
 - Staff will be encouraged to take public transportation to work. We will encourage staff to be hired from within the village. If our team needs to drive to work, they will be encouraged during peak periods to park away from the inn. As an added benefit to the staff and village, team members can also park at the other properties and utilize our peak season shuttle service.
- The applicant indicated that room cleaning will be provided by hotel employees, but what additional services such as exterior maintenance, linen washing, coffee service, security, garbage collection, etc. be necessary for operations, and will these activities be performed by employees or outside companies?
 - Additional services as mentioned above are not needed for the daily operation of the inn. Said services can be performed during off-peak hours of the operation. Specific to linen washing, we will utilize off-peak drop of and delivery. Waste will be removed during off peak periods by an outside service.
- Will provision of the services from #5 require vehicles to access the site, and if so, how frequently and what times of day?
 - Per above, yes, and maybe during peak periods 2x a week at most. During off peak periods maybe 1x a week. Again, services will never be provided during the busy hours of the day.
- Will there be any other type of regular deliveries that will impede traffic on Main Street or other adjacent streets?
 - None, again, this is a very benign, low intensity use of the site.
- As the applicant indicated there would be shared employees with The Harborfront Inn, the applicant shall demonstrate that there will be no increase beyond the number of employees currently allocated for in the approved site plan and parking calculations for this property. Shall the

number of employees on-site at any one time at The Harborfront Inn exceed that of what is approved, a separate Village approval process will be necessary for that site.

2) Courtyard:

- How will the hotel ensure that only guests use the outdoor courtyard?
 - The courtyard will be only accessible via a locked gate. Guests will need to have a key card to open the gate which will be self-closing.

- What hours will it be open to guests, and how will the hotel enforce this?
 - The hours will be limited to the quiet hours of the property, 8am to 9pm daily. At our other properties we rarely have to enforce the quietness of our guests.

- How will the hotel provide oversight to this area and discourage the use of alcoholic beverages and other types of behaviors that may not promote the health, safety and public welfare?
 - Guests are required to sign a form at check-in that obligates them to abide by the rules of the inn. If guests do not abide they will be asked to leave and charged a penalty. Further, the courtyard will be monitored by staff and cameras.

- Will there be a loudspeaker or other outdoor noise and/or music?
 - None

- What type of security measures will be available?
 - Staff, security cameras, and a secure gate.

We are thankful for your time helping us bring this amazing project to life. We are working with you to provide a high-quality inn on this site that is safe, historically sensitive, vibrant in character, and, additive to the economic stability of the community. We believe that our answers above and the revised drawings submitted address your observations and requests as well as provide an incredibly thoughtful design that compliments the historic aspects of the Village.

If you have any questions, please feel free to contact us.

Most kindly,



Erik Warner



Village of Greenport Planning Board
Site Plan Review Application

PLANNING MEMO

Applicant: HF2 Hotel Owner LLC

Project Location: 200 Main Street, Greenport

SCTM: 1001-4-10-16

SEQRA Recommendation: Subject to further review

Zoning District: CR **Referral Req'd?:** Yes

Historic District: Yes **SC Planning Referral:** Yes

Date: April 8, 2022 **Plan Revision Date:** March 8, 2022

Meeting Summary:

Applicant presented their plan to redevelop the property into a 22-room hotel called “The Greenport Inn” with a separate building to serve as guest services, an outdoor courtyard, a small parking lot fronting Carpenter Street, and associated site improvements. The representative, Erik Warner, owns and manages two other area hotels, as well as several nationwide. He testified that his experience running boutique properties in destination communities has formulated the proposed designs and anticipated guest experience.

The Planning Board expressed several concerns regarding traffic and pedestrian safety issues along the four adjacent roadways to the project – Main Road, Front Street (NYS Route 25), East Front Street, and Carpenter Street. Notably, a Board member testified there have been vehicular accidents in the past that resulted in vehicles traversing into the existing outdoor plaza, which is the proposed location for the lobby building. The expressed concerns about having a separate lobby building and the placement in proximity to Front Street thereof.

The Board further expressed operational concerns regarding the outdoor courtyard, outdoor patios, loading & unloading, staffing at nighttime, small size of the rooms, and amount of rooms on the site, amongst other related concerns. The property borders several mixed use properties, so concerns for the peace, safety and quality of life of the residents in the area were expressed.



Comments and Recommendations:

While this memo is not meant to be an exhaustive representation of all concerns of the Planning Board, it is intended to advise the applicant of the following materials and site plan revisions necessary for the Board to *"take into consideration the public health, safety and welfare and the comfort and convenience of the public in general and of the residents of the immediate neighborhood in particular"* (§150-30 A).

This memo is offered as a supplement to the one dated April 5, 2022; it does not replace it. It is recommended that the applicant submit revised materials in accordance with the comments issued in the April 5th memo and in this memo, and attend a second pre-submission hearing of the Planning Board.

1. Use:

The applicant shall submit a written statement clarifying the following:

- 1) Operations & Personnel:
 - A) What is the general nature of operations, and what will employee responsibilities will be?
 - B) What is the maximum number of full-time and part-time employees that may be on-site at one time?
 - C) What is the total amount of staff, and their responsibilities, that will be necessary to operate the hotel?
 - D) In the case of staff that is shared by other properties, would they be accessing this proposed site via car, and if so, where would they park?
 - E) The applicant indicated that room cleaning will be provided by hotel employees, but what additional services such as exterior maintenance, linen washing, coffee service, security, garbage collection, etc. be necessary for operations, and will these activities be performed by employees or outside companies?
 - F) Will provision of the services from #5 require vehicles to access the site, and if so, how frequently and what times of day?
 - G) Will there be any other type of regular deliveries that will impede traffic on Main Street or other adjacent streets?
 - H) As the applicant indicated there would be shared employees with The Harborfront Inn, the applicant shall demonstrate that there will be no increase beyond the amount of employees currently allocated for in the approved site plan and parking calculations for this property. Shall the amount of employees on-site at any one time at the The Harborfront Inn exceed that of what is approved, a separate Village approval process will be necessary for that site.



- 2) Courtyard:
 - A) How will the hotel ensure that only guests use the outdoor courtyard?
 - B) What hours will it be open to guests, and how will the hotel enforce this?
 - C) How will the hotel provide oversight to this area and discourage the use of alcoholic beverages and other types of behaviors that may not promote the health, safety and public welfare?
 - D) Will there be a loudspeaker or other outdoor noise and/or music?
 - E) What type of security measures will be available?

2. Parking / Traffic Circulation:

- 1) A traffic & pedestrian safety study will be necessary; recommended scope is attached.
- 2) The applicant shall provide dedicated loading and unloading areas that address the Board's concerns in regards to guest check-in, guest check-out, employees traveling between properties, and vendors providing service to the property.
- 3) In general, at this time, the applicant shall consider measures that will address the pedestrian and traffic safety concerns raised the Board, including but not limited to, pedestrian protections at the intersection of Front Street and Main Street, building protections/setback along Main Street and visibility at the intersection of East Front Street & Main Street.
- 4) Upon receipt of revised plans and completed traffic study, additional evaluation will occur.

3. Site Plan Development

The applicant is reminded that the following comments shall be addressed in order to continue with the planning process:

- 1) Provide an Existing Conditions plan and legal survey contained the elements proscribed within §150-30(D)(1) & §150-30(D)(2).
- 2) Zoning Analysis plan shall be provided, and include at minimum, setback dimensions, revised parking calculations and dimensions of the courtyard.
- 3) Provide basic architectural elevations of each building, and ensure the elevation of the proposed hotel room building provides some information on how tall each story will be for further evaluation of the height/story variance by the Village Building Department and the Zoning Board.
- 4) Site Plan provided shall be more fully developed to include the level of detail on proposed site improvements detailed throughout §150-30(D), especially in regards to outdoor lighting, landscaping and screening, and stormwater management.
- 5) The applicant shall consider less intense use of the site in an effort to address multiple concerns raised by the Planning Board at the 4/6/2022 pre-submission conference.



State Environmental Quality Review Requirements

This action is Unlisted, and subject to Coordinated Review to determine environmental impacts. Prior to initiation of this review and Lead Agency determination, review of the Full Environmental Assessment Form (FEAF) will have to be complete. At this time, insufficient information exists for LKMA to complete review of the FEAF. As such, applicant shall submit the plan revisions and materials requested herein, including a revised FEAF (if necessary).

Other Agencies of Jurisdiction

At minimum, it appears this application meets the criteria for referral to Suffolk County Planning Commission, Suffolk County Health Services (wastewater), and New York State Department of Transportation (for traffic impacts to Front Street).

The applicant will be required to demonstrate compliance with the Southold Town Emergency Alarm System Permit for installation, modification and operation at the appropriate time in the process. The applicant is further advised that they may want ensure The Harborfront Inn property is in current compliance with this Town permit process.

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Greenport Inn		
Project Location (describe, and attach a general location map): 200 Main Street, Greenport, NY 11944		
Brief Description of Proposed Action (include purpose or need): The proposed action involves the demolition of the existing 1-story building and construction of a 3-story hotel.		
Name of Applicant/Sponsor: Matthew K. Aylward, PE R&M Engineering		Telephone: 631-271-0576
		E-Mail:
Address: 50 Elm Street		
City/PO: Huntington	State: NY	Zip Code: 11743
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): HF2 Hotel Owner LLC Contact: Erik Warner, Manager of LLC		Telephone: 917-449-3449
		E-Mail: ewarner@eaglepointhotels.com
Address: 327 Court Street, Floor 2		
City/PO: Brooklyn	State: NY	Zip Code: 11231

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village Planning Board - Site Plan	2022
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village Zoning Board of Appeals	2022
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village Historic Preservation Commission HPC Village DPW - Sewer Connection	2022 2022
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SCDHS - Sewer Connection SCWA - RPZ	2022 2022
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	New York State Department of Transportation	2022
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
<u>NYS Heritage Areas: LI North Shore Heritage Area</u>	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
CR - Retail Commercial District

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Greenport UFSD

b. What police or other public protection forces serve the project site?
Southold TWN Police

c. Which fire protection and emergency medical services serve the project site?
Greenport

d. What parks serve the project site?
Mitchell Park & Marina

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
Commercial

b. a. Total acreage of the site of the proposed action? _____ 0.19 acres
 b. Total acreage to be physically disturbed? _____ 0.19 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.19 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ 12 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 2

ii. Dimensions (in feet) of largest proposed structure: 35 height; 34 width; and 75 length

iii. Approximate extent of building space to be heated or cooled: 9,064 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 2,400 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Greenport Water
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 2,400 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: Greenport Village Sewage Treatment Plant
- Name of district: Village of Greenport Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

Yes No
 Yes No

- Do existing sewer lines serve the project site?
- Will a line extension within an existing district be necessary to serve the project?

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

N/A

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

6,535 Square feet or 0.15 acres (impervious surface)

8,174 Square feet or 0.19 acres (parcel size)

ii. Describe types of new point sources. Project site is less than one (1) acre. Point sources of stormwater runoff include roof runoff, impervious paved parking areas, sidewalks

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

On-site subsurface drainage structures

- If to surface waters, identify receiving water bodies or wetlands: _____

- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
5,500 kW/h

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
via Grid/Local Utility: PSEG-LI

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Per Village Code • Saturday: _____ Per Village Code • Sunday: _____ Per Village Code • Holidays: _____ Per Village Code 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 12 AM - 12 AM • Saturday: _____ 12 AM - 12 AM • Sunday: _____ 12 AM - 12 AM • Holidays: _____ 12 AM - 12 AM
--	---

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p>
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>Proposed on-site lighting fixtures located within parking lot and mounted on exterior building wall.</p> <p>_____</p>
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.15	0.15	-0.00
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>Landscaped</u>	0.04	0.04	+0.00

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: Presently a commercial building exists on-site

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): 2109472 (208 Main Street)
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____
Unknown

 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): B00027 (115 Front Street)
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
2109472 - (208 Main Street) - Spill Incident Not Closed
B00027 - (115 Front Street) - Environmental Restoration Program Certificate of Completion Date: 04/17/2017

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 600 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Urban Land (Ur) _____ 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ 10 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name Greenport Harbor Classification SA
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Sole Source Aquifer Names: Nassau-Suffolk SSA

m. Identify the predominant wildlife species that occupy or use the project site: _____ N/A _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
<i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____	
<i>ii.</i> Source(s) of description or evaluation: _____	
<i>iii.</i> Extent of community/habitat:	
<ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
<i>i.</i> Species and listing (endangered or threatened): _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
<i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
<i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
<i>i.</i> CEA name: <u>Peconic Bay and Environs</u> <i>ii.</i> Basis for designation: <u>Protect public health, water, vegetation, & scenic beauty</u> <i>iii.</i> Designating agency and date: <u>Agency: Suffolk County, Date 7-12-88</u>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: <u>Barth Plaza, Meyer's Bart Grill, IGA, Brandt Commercial, Schnieder Commercial, Rhumb Line, Art White's Bait Shop, Jaeger's, ...</u>	
<i>iii.</i> Brief description of attributes on which listing is based: <u>Commercial</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: <u>Mitchell Park, Greenport Harbor</u>	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Local park</u>	
<i>iii.</i> Distance between project and resource: _____ <u>0.1</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Matthew Aylward, PE (Sponsor for Applicant) Date 05.17.22

Signature  Title Civil Engineer

Environmental Site Remediation Database Search Details

Site Record

Document Repository

Site-related documents are available for review through the DECInfo Locator on line at [DECInfoLocator](#)

Administrative Information

Site Name: 115 Front Street (Mitchell Property)
Site Code: B00027
Program: Environmental Restoration Program
Classification: C
EPA ID Number:

Location

DEC Region: 1
Address: 115 Front Street
City: Greenport **Zip:** 11944
County: Suffolk
Latitude: 41.101625599
Longitude: -72.360966316
Site Type:
Estimated Size: 3.19 Acres

Institutional And Engineering Controls

Control Type:
Environmental Easement

Control Elements:
Ground Water Use Restriction
Landuse Restriction

Site Owner(s) and Operator(s)

Current Owner Name: Incorporated Village of Greenport
Current Owner(s) Address: 236 Third Street
Greenport, NY, 11944
Current Owner Name: Incorporated Village of Greenport
Current Owner(s) Address: 236 third Street
Greenport, NY, 11944
Current Owner Name: Village of Greenport
Current Owner(s) Address: 236 Third Street
Greenport, NY, 11944

Site Description

This is a 3.10-acre site with 14 underground storage tanks (USTs) in place at the time it was acquired by the Village of Greenport in 1999. The Village subsequently converted the site into a public park and the park has been renovated. The park renovation was performed in conjunction with the investigation and remediation of the site done under NYSDEC's environmental restoration program which provided funding of up to 75% of the eligible costs. Most of the tanks at the site were formerly used to dispense fuels by a former marina that operated at the site. These tanks had contained gasoline, diesel fuel, fuel oil or waste oils. All of these tanks were removed during or after the site investigation. All of the tanks had leaked. Impacted soils in the vicinity of the tanks were excavated and deposited off-site. Closure sampling indicated some residual petroleum related soil and groundwater contamination in the tank excavations. Following the Site Investigation, a Proposed Remedial Action Plan dated February 2000 and a subsequent Record of Decision dated March 2000 selected the remedy for the site. The elements of the remedy were off-site disposal of petroleum impacted soils in two areas of the site, removal and on-site burial above the water table of arsenic impacted soils present in the surface soils, the placement of a one foot surface cap of clean fill, the implementation of a deed restriction, and a minimum of two years of groundwater monitoring. Periodic groundwater monitoring, as required under the ROD, has been completed and has been terminated due to improvement in groundwater quality. The filing of a deed restriction in the form of an environmental easement is required before final approval of a revised remedial report can be considered. The environmental easement has been developed and should be filed by the Village in the winter of 2000-2010. The environmental easement has been filed and the Village is preparing a final engineering report and SMP. On March 25, 2017 a letter accepting the RAR and approving the SMP was issued to the Village by the Department and a letter of Satisfactory Completion was also issued on April 17, 2017 to the Village.

Summary of Project Completion Dates

Projects associated with this site are listed in the Project Completion Dates table and are grouped by Operable Unit (OU). A site can be divided into a number of operable units depending on the complexity of the site and the number of issues associated with a site. Sites are often divided into operable units based on the media to be addressed (such as groundwater or contaminated soil), geographic area, or other factors.

[Project Completion Dates](#)

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type
0benz(a,h)anthracene
ethylbenzene
lead
benzo(k)fluoranthene
chrysene
indeno(1,2,3-cd)pyrene
benzene
benzo(g,h,i)perylene
arsenic
benz(a)anthracene
benzo(a)pyrene
toluene
xylene (mixed)
benzo(b)fluoranthene

Site Environmental Assessment

The site has been remediated. The groundwater is not used due to saltwater intrusion. Periodic groundwater monitoring has been terminated as a result of significant improvement in groundwater quality. A deed restriction in the form of an environmental easement was put in place to help prevent direct contact with any residual petroleum related groundwater contamination or with subsurface soils buried at the site that contain elevated concentrations of arsenic. A site management plan has been approved and will incorporate the environmental easement. The Site Management Plan includes a soil management plan to address any future changes made by the Village at the park.

Site Health Assessment

Measures are in place to control the potential for coming in contact with residual subsurface soils and groundwater contamination remaining on the site.

February 8, 2022 2:12 pm

COVID-19 Vaccines

Children ages 5+ are eligible for the COVID-19 vaccine and children ages 12+ are eligible for a booster. Parents and guardians: make sure your child gets vaccinated and stays up to date with all recommended doses.

[VAX FOR KIDS >](#)



[Services](#) [News](#) [Government](#) [COVID-19 Vaccine](#)

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Environmental Remediation Databases

Summary of Project Completion Dates

Site Name: 115 Front Street (Mitchell Property)
Site Code: B00027
Program: Environmental Restoration Program
Locality: Greenport
DEC Region: 1

Operable Unit: 00 - Site Management

Project Name	Completion Date
Certificate of Completion	04/17/2017

Citizen Participation is an important part of the Department's efforts to remediate abandoned and inactive hazardous waste disposal sites in New York. Fact sheets have been developed to provide the public with information about the major elements of the State's Superfund program (given in the completion dates above) and to help citizens understand how the program works.

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Spill Incidents Database Search Details

Spill Record

Administrative Information

DEC Region: 1
Spill Number: 2109472

Spill Date/Time

Spill Date: 02/05/2022 Spill Time: 10:00:00 AM
Call Received Date: 02/05/2022 Call Received Time: 12:36:00 PM

Location

Spill Name: BRUCE AND SON RESTAURANT
Address: 208 MAIN STREET
City: GREENPORT County: Suffolk

Spill Description

Material Spilled	Amount Spilled	Resource Affected
#2 fuel oil	140 Gal.	Soil

Cause: Equipment Failure
Source: Commercial Industrial
Waterbody:

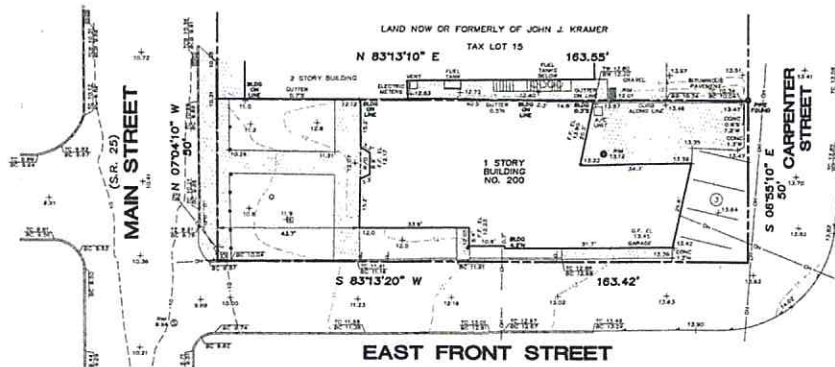
Record Close

Date Spill Closed: Not closed

If you have questions about this reported incident, please contact the Regional Office where the incident occurred.

[Return To Results](#)

[Refine This Search](#)



LEGEND

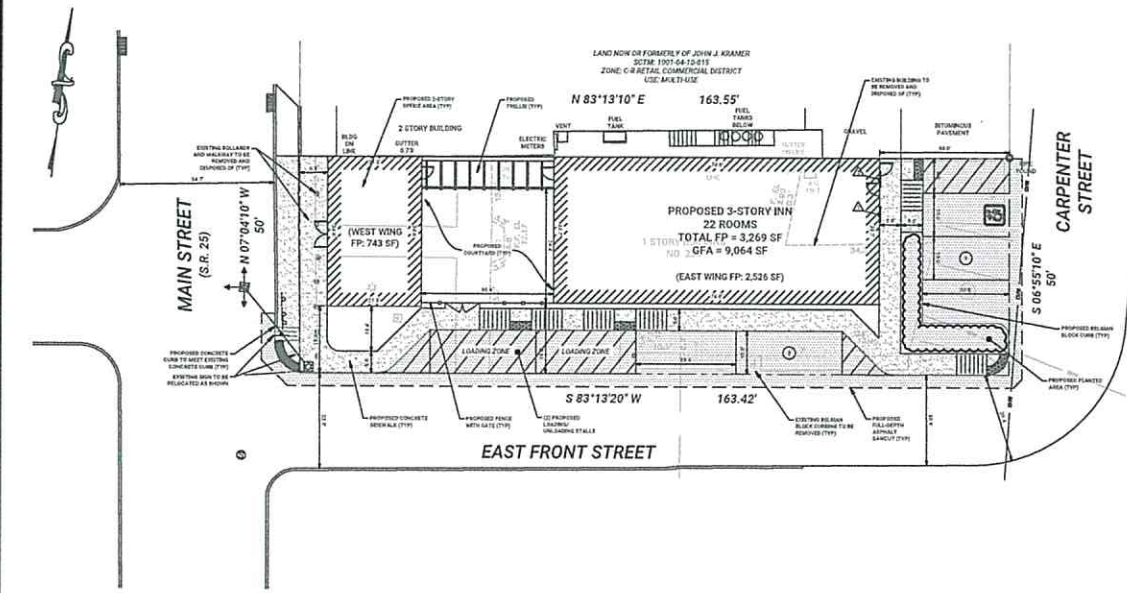
	CONCRETE CURB	F.F. EL.	FINISHED FLOOR ELEVATION
	DROP CURB	G.F. EL.	GARAGE FLOOR ELEVATION
	EDGE OF PAVEMENT	TOP/BOTTOM OF CURB	TOP/BOTTOM OF CURB
	OVERHEAD WIRES	TOP/BOTTOM OF WALL	TOP/BOTTOM OF WALL
	CONCRETE	TOP/BOTTOM OF CATCH BASIN	TOP/BOTTOM OF CATCH BASIN
	CONTOURS	SPOT ELEVATION	SPOT ELEVATION
	PARKING STALL COUNT	ELECTRIC CONTROL BOX	ELECTRIC CONTROL BOX
	DRAINAGE INLET	LIGHT POLE	LIGHT POLE
	CATCH BASIN	STRUCTURE - SANITARY	STRUCTURE - SANITARY
	UTILITY POLE	TRAFFIC SIGNAL POLE	TRAFFIC SIGNAL POLE
	SIGN	BOLLARD	BOLLARD

NOTES:

1. THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE, AND IS NOT INTENDED TO BE USED FOR A TRANSFER OF TITLE OR ANY FINANCIAL PURPOSE.
2. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND THEREFORE, THE EXISTENCE OF ANY COVENANTS, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN OR ADDRESSED.
3. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
4. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY.
5. THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO CLUE IN THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITIONS TO BUILDINGS OR ANY OTHER CONSTRUCTION.
6. LOT AREA = 8,174 SQUARE FEET.
7. ELEVATIONS SHOWN HEREON REFER TO N.A.S.D. 1988.

1/4" TO 100'
NEW YORK

Date: _____		By: _____		Revised: _____	
Surveyed by: C.S.	Checked by: A.V.E.	Checked by: C.W.			
BBV		Barrett Bonacci & Van Weele, PC			
Engineers • Surveyors • Planners		175A Commerce Drive Hauppauge, NY 11788 1631.435.1111 • 631.435.1022 www.bbvp.com			
Tax Map: DISTRICT 1001 SECTION 4 BLOCK 10 LOT 16					
PROPERTY					
SITUATE INCORPORATED VILLAGE OF GREENPORT SUFFOLK COUNTY NEW YORK					
BOUNDARY & TOPOGRAPHIC SURVEY					
Date: JANUARY 22, 2022	Scale: 1" = 30'	Project No.: A210465	Sheet No.: 1	© 2022 BBV PC 1 of 1	



SITE DATA

ITEM	PROPOSED	EXISTING
TOTAL AREA	14,700 SQ FT	14,700 SQ FT
NET AREA	14,700 SQ FT	14,700 SQ FT
NET COVERED AREA	9,064 SQ FT	0 SQ FT
NET UNCOVERED AREA	5,636 SQ FT	14,700 SQ FT
NET COVERED PERCENTAGE	61.66%	0%

ZONING COMPLIANCE TABLE:

ITEM	PROPOSED	EXISTING
MINIMUM HEIGHT OF BUILDING (FT)	30	30
MINIMUM LOT AREA (SQ FT)	10,000	10,000
MINIMUM LOT FRONT SETBACK (FT)	5	5
MINIMUM LOT SIDE SETBACK (FT)	5	5
MINIMUM LOT REAR SETBACK (FT)	5	5
MINIMUM FRONT YARD SETBACK (FT)	5	5
MINIMUM SIDE YARD SETBACK (FT)	5	5
MINIMUM REAR YARD SETBACK (FT)	5	5
MINIMUM FRONT SETBACK (FT)	5	5

LOT COVERAGE

NET AREA	14,700 SQ FT	40.00%
NET COVERED AREA	9,064 SQ FT	61.66%
LANDSCAPING AREA	5,636 SQ FT	38.34%
TOTAL	14,700 SQ FT	100.00%

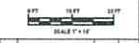
PARKING CALCULATIONS

MAXIMUM PERMITTED	85 CARS/STALL	12 STALLS
RECOMMENDED	50 CARS/STALL	6 STALLS
TOTAL PERMITTED	12 STALLS	12 STALLS
TOTAL RECOMMENDED	6 STALLS	6 STALLS

SCHEDULE OF SIGNS

SYMBOL	TEXT	SIGN TYPE	MAX. C.D.	SIZE
▲	NO STOPPING	REGULATORY	12" x 18"	12" x 18"
▲	NO STOPPING	REGULATORY	12" x 18"	12" x 18"

1. ALL SIGNS SHALL BE MAINTAINED IN GOOD REPAIR AT ALL TIMES.
2. ALL SIGNS SHALL BE MAINTAINED IN GOOD REPAIR AT ALL TIMES.
3. ALL SIGNS SHALL BE MAINTAINED IN GOOD REPAIR AT ALL TIMES.
4. ALL SIGNS SHALL BE MAINTAINED IN GOOD REPAIR AT ALL TIMES.



NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAN	08/11/12
2	CONCEPTUAL ALIGNMENT PLAN	08/11/12

CONCEPTUAL ALIGNMENT PLAN

200 MAIN STREET

GREENPORT

VILLAGE OF GREENPORT, SUFFOLK COUNTY, NEW YORK

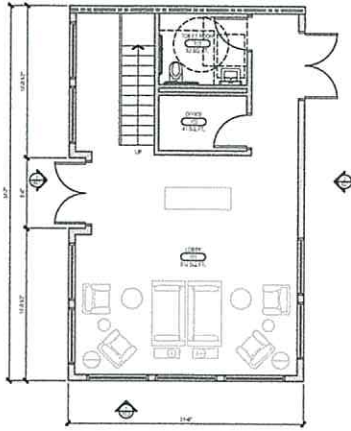


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DATE: 08/11/12

CP-1

THIS PLAN IS BASED ON THE SURVEY PREPARED BY BARRETT WINALIZA, GREENPORT, NY DATED JANUARY 10, 2012.



1 FIRST FLOOR CONSTRUCTION PLAN - LOBBY BUILDING
SCALE: 1/8"=1'-0"

INTERIOR WALL TYPE LEGEND	
GYPSUM BOARD WALLS	
	6" GYPSUM BOARD
	5/8" GYPSUM BOARD
	1/2" GYPSUM BOARD
	5/8" GYPSUM BOARD
	1/2" GYPSUM BOARD
	5/8" GYPSUM BOARD
	1/2" GYPSUM BOARD
MASONRY WALLS	
	8" CMU
	6" CMU
	4" CMU
	8" CMU
	6" CMU
	4" CMU
OPENINGS	
	6" x 6" x 20" OPENING
	6" x 8" x 20" OPENING
DIMENSIONS & REFERENCE NOTES	
1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.	
2. ALL DIMENSIONS TO FACE OF EXTERIOR FINISHES.	
3. ALL DIMENSIONS TO FACE OF EXTERIOR FINISHES TO THE FACE OF EXTERIOR FINISHES.	
4. ALL WINDOW AND DOOR DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.	

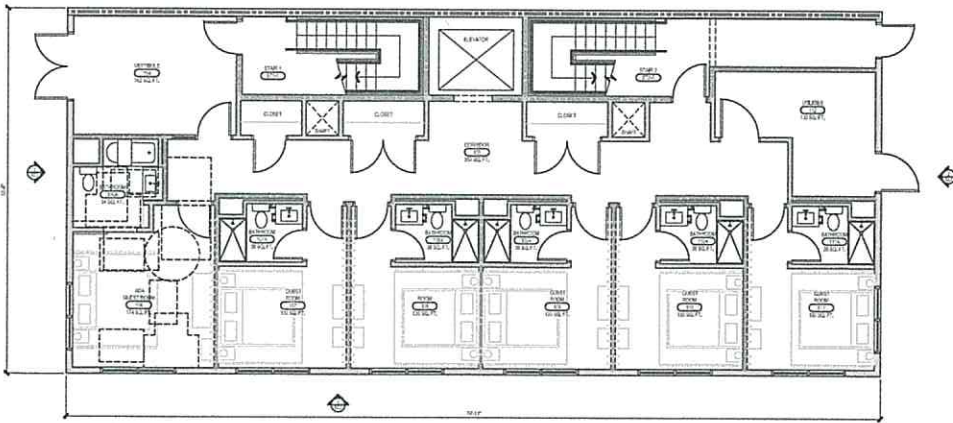
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2 FIRST FLOOR CONSTRUCTION PLAN - INN BUILDING
SCALE: 1/8"=1'-0"

ISSUED TO: VLLAIRE
REVISION: 05/16/2022
DATE: 05/16/2022

DRAWING TITLE: FIRST FLOOR CONSTRUCTION PLAN

SCALE: AS NOTED

DRAWN BY: PJD

CHECKED BY: PJD

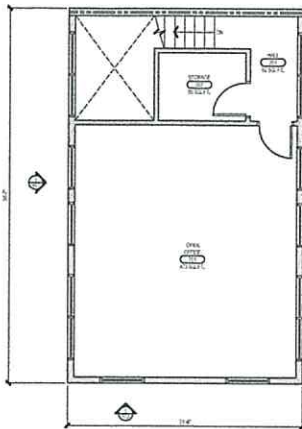
DATE: 05/16/2022

PROJECT: 205 MAIN STREET GREENPORT, NY

STATE OF NEW YORK
OFFICE OF THE STATE ARCHITECT
JULIA M. GARDNER, STATE ARCHITECT

A1.1

25-101
GREENPORT INN
205 MAIN STREET
GREENPORT, NY



1 SECOND FLOOR CONSTRUCTION PLAN - LOBBY BUILDING
SCALE: 1/4"=1'-0"

INTERIOR WALL TYPE LEGEND	
GYPSUM BOARD WALLS	
	EXTERIOR PARTITION
	NON-RATED PARTITION
	1-HR RATED PARTITION
	2-HR RATED PARTITION
	3-HR RATED PARTITION
	4-HR RATED PARTITION
	5-HR RATED PARTITION
	6-HR RATED PARTITION
	8-HR RATED PARTITION
	10-HR RATED PARTITION
MASONRY WALLS	
	1-HR RATED PARTITION
	NON-RATED PARTITION
	1-HR RATED PARTITION
	2-HR RATED PARTITION
	3-HR RATED PARTITION
	4-HR RATED PARTITION
	6-HR RATED PARTITION
OPENINGS	
	EXISTING DOOR OPENING
	NEW DOOR OPENING
DIMENSION & REFERENCE NOTES	
1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.	
2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.	
3. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.	
4. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.	

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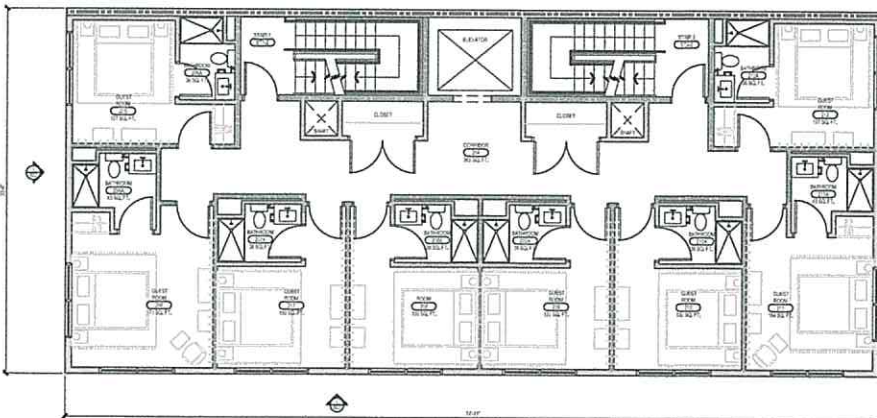
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DRAWING TITLE: SECOND FLOOR CONSTRUCTION PLAN
SCALE: AS NOTED
DRAWN BY: JAS
CHECKED BY: JAS
DATE: 05/14/2012
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A1.2
200 MAIN STREET
GREENPORT, NY



2 SECOND FLOOR CONSTRUCTION PLAN - INN BUILDING
SCALE: 1/4"=1'-0"

INTERIOR WALL TYPE LEGEND	
GYPSON BOARD WALLS	
	1/2\"/>
	5/8\"/>
	1\"/>
	1 1/4\"/>
	1 1/2\"/>
	1 3/4\"/>
	2\"/>
MASONRY WALLS	
	8\"/>
	12\"/>
	16\"/>
	20\"/>
	24\"/>
OPENINGS	
	1/2\"/>
	1\"/>
DIMENSION & REFERENCE NOTES	
<ol style="list-style-type: none"> ALL DIMENSIONS TO THE WALL CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO THE FACE OF FRAMED WALLS UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO THE FACE OF EXTERIOR WALLS UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO THE FACE OF EXTERIOR WALLS UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO THE FACE OF EXTERIOR WALLS UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO THE FACE OF EXTERIOR WALLS UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO THE FACE OF EXTERIOR WALLS UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO THE FACE OF EXTERIOR WALLS UNLESS NOTED OTHERWISE. 	

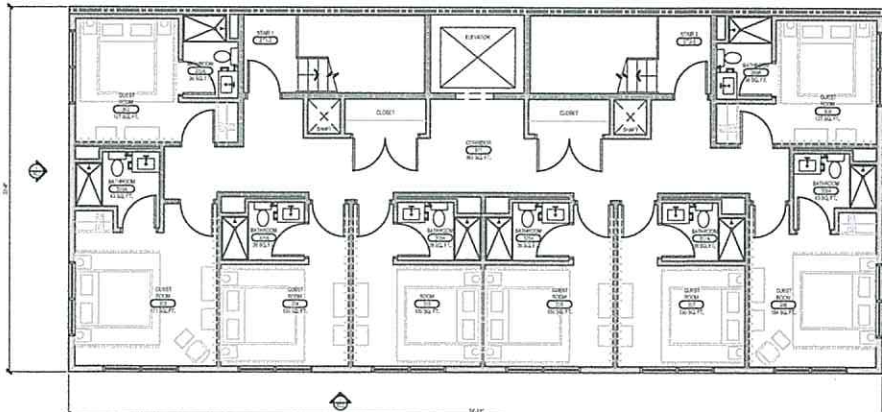
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ISSUED TO: RELEASE
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THIRD FLOOR CONSTRUCTION PLAN

SCALE: AS NOTED
 DRAWN BY: PJS
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

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 DATE: 08/15/22

1 THIRD FLOOR CONSTRUCTION PLAN - INN BUILDING
 SCALE: 1/8" = 1'-0"

A1.3
 EAGLEPOINT INN
 200 MAIN STREET
 GREENPORT, NY



1 LOBBY FRONT (WEST) FACING ELEVATION
SCALE: 1/4"=1'-0"



2 LOBBY SIDE (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"

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REVISED TO	BY	DATE

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ELEVATIONS

SCALE: AS NOTED

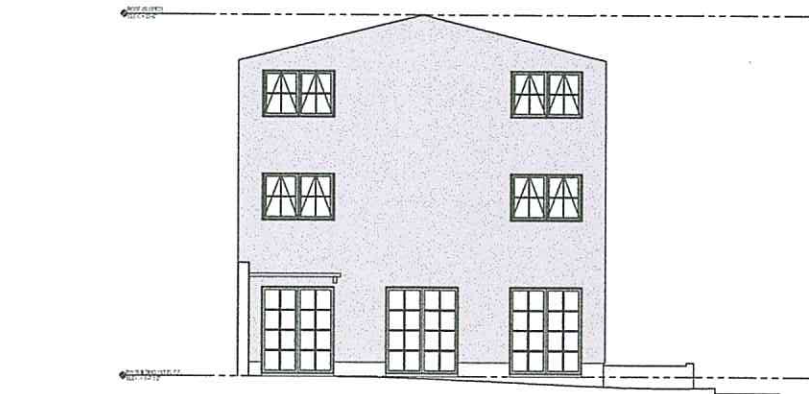
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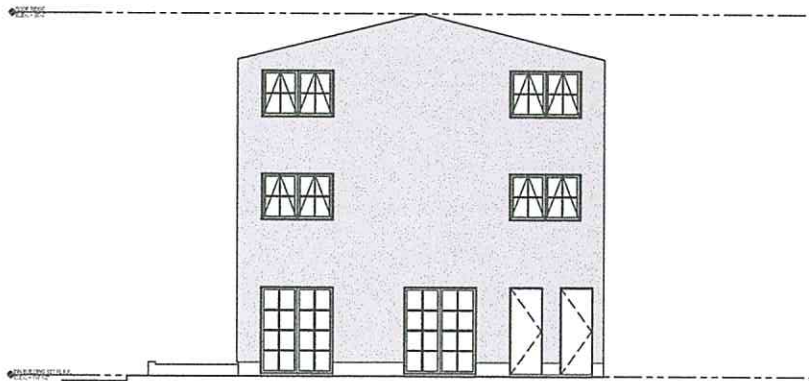
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215 MAIN STREET
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1 INN (EAST) FACING ELEVATION
SCALE: 1/8"=1'-0"



2 INN (WEST) FACING ELEVATION
SCALE: 1/8"=1'-0"

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REVISION	DATE

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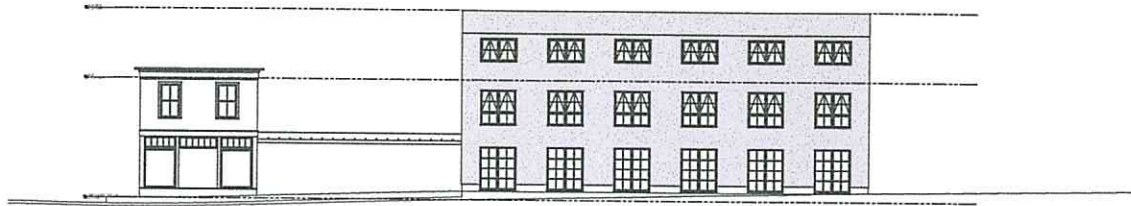
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DATE: 08/2022

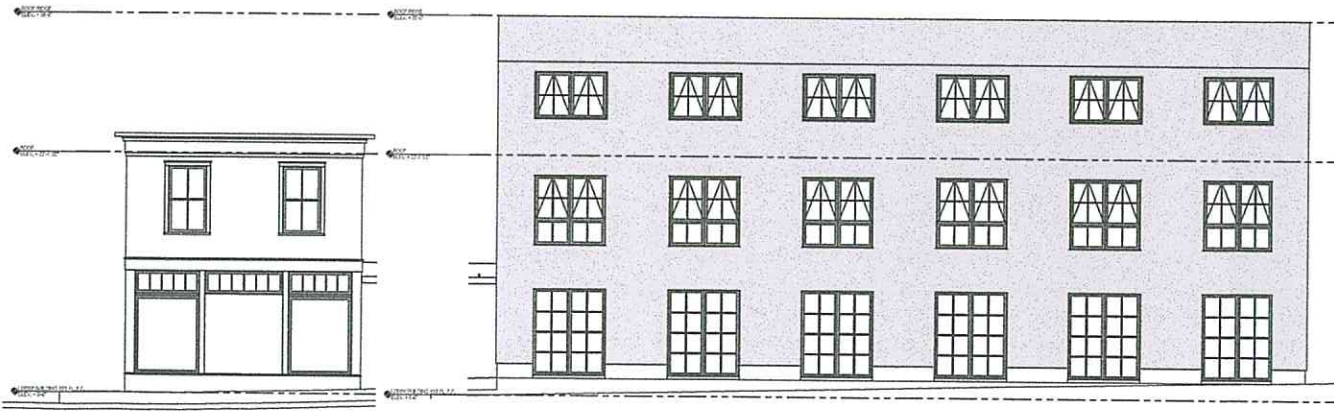
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1 SIDE (SOUTH) FACING ELEVATION
SCALE: 1/8"=1'-0"



2 LOBBY SIDE (SOUTH) FACING ELEVATION
SCALE: 1/8"=1'-0"

3 INN SIDE (SOUTH) FACING ELEVATION
SCALE: 1/8"=1'-0"

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