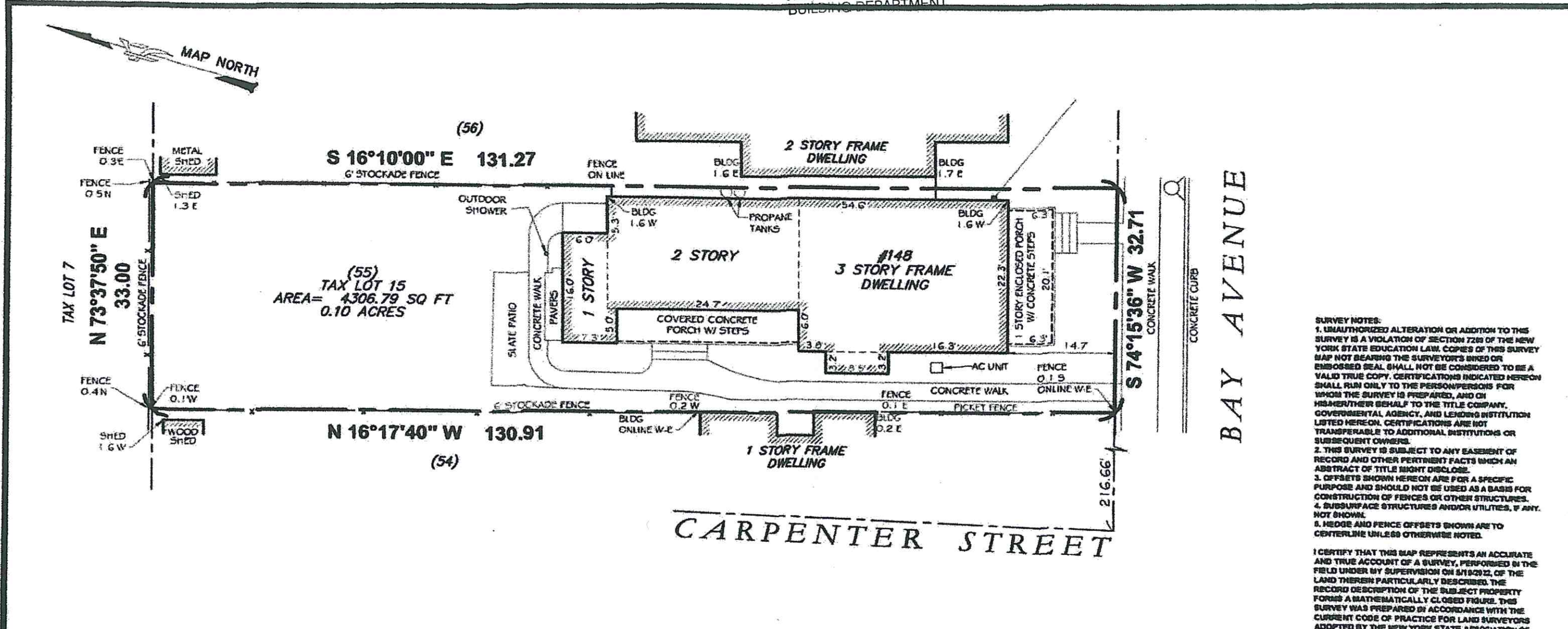


RECEIVED

OCT 06 2022

VILLAGE OF GREENPORT
BUILDING DEPARTMENT



SURVEY NOTES:

1. UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7208 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE SURVEYOR'S INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON/PERSONS FOR WHOM THE SURVEY IS PREPARED, AND ON HIS/HER/THEIR BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY, AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
2. THIS SURVEY IS SUBJECT TO ANY EASEMENT OF RECORD AND OTHER PERTINENT FACTS WHICH AN ABSTRACT OF TITLE MIGHT DISCLOSE.
3. OFFSETS SHOWN HEREON ARE FOR A SPECIFIC PURPOSE AND SHOULD NOT BE USED AS A BASIS FOR CONSTRUCTION OF FENCES OR OTHER STRUCTURES.
4. SUBSURFACE STRUCTURES AND/OR UTILITIES, IF ANY, NOT SHOWN.
5. HEDGE AND FENCE OFFSETS SHOWN ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

I CERTIFY THAT THIS MAP REPRESENTS AN ACCURATE AND TRUE ACCOUNT OF A SURVEY, PERFORMED IN THE FIELD UNDER MY SUPERVISION ON 8/18/2022, OF THE LAND THEREIN PARTICULARLY DESCRIBED. THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMED A MATHEMATICALLY CLOSED FIGURE. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE CURRENT CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

(14621)- DENOTES FILED MAP LOT NUMBERS.

1 inch = 16 ft. GRAPHIC SCALE (IN FEET)



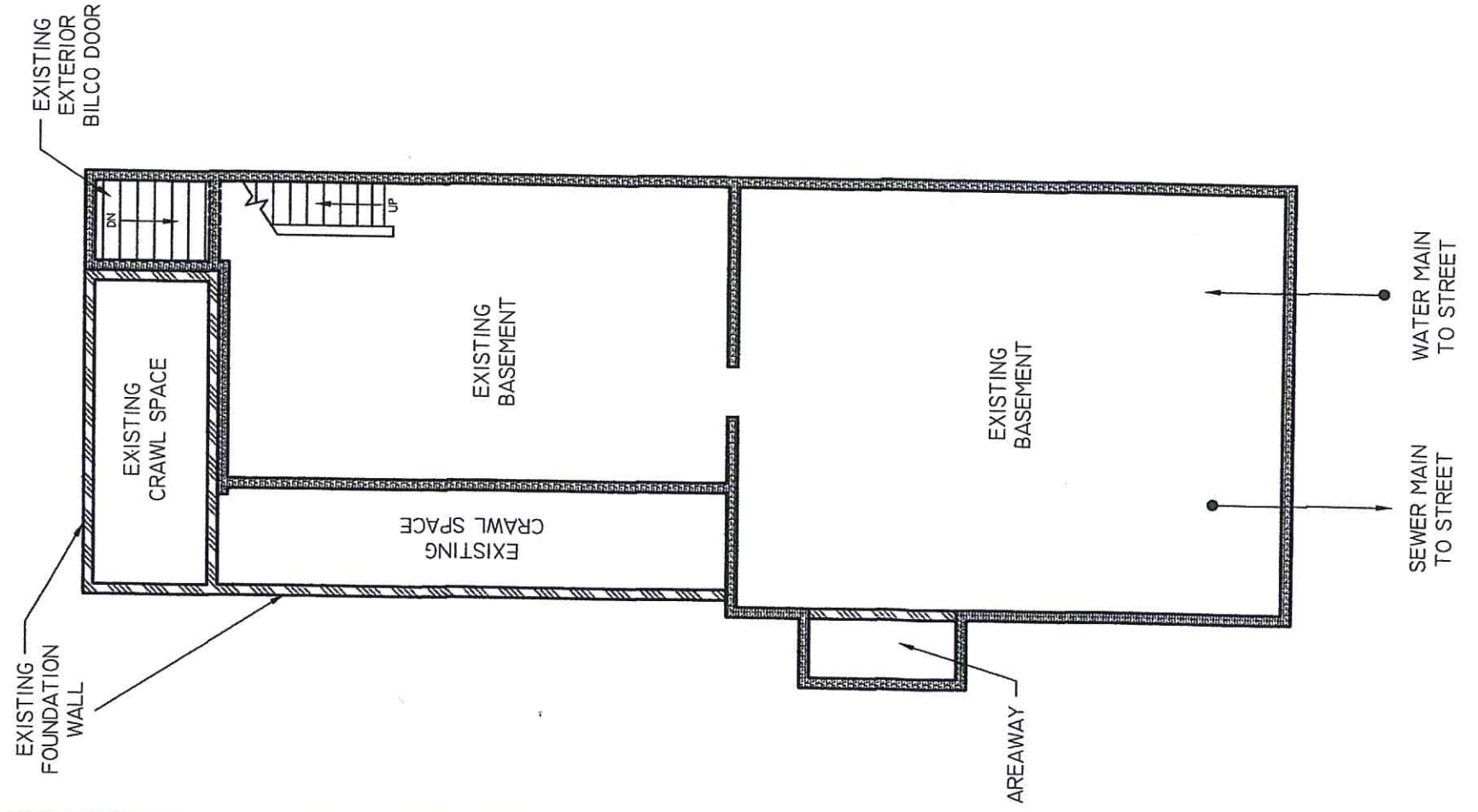
SUFFOLK COUNTY DIST: 1001	DATE: 2-20-20	SCALE: 1"=16'
SEC. 5	BLK 2	LOT 15
PROJECT NUMBER: MET22-113		

SURVEY FOR:	CHRISTOPHER ISAACS & LAUREN GULA ISAACS
MAP OF:	BEEBE ESTATE
LOCATION:	VILLAGE OF GREENPORT, SUFFOLK COUNTY, NY
CERTIFIED TO:	CHRISTOPHER ISAACS & LAUREN GULA ISAACS FIDELITY NATIONAL TITLE INSURANCE COMPANY CITIBANK, N.A., ISAOA

BOUNDARY SURVEY

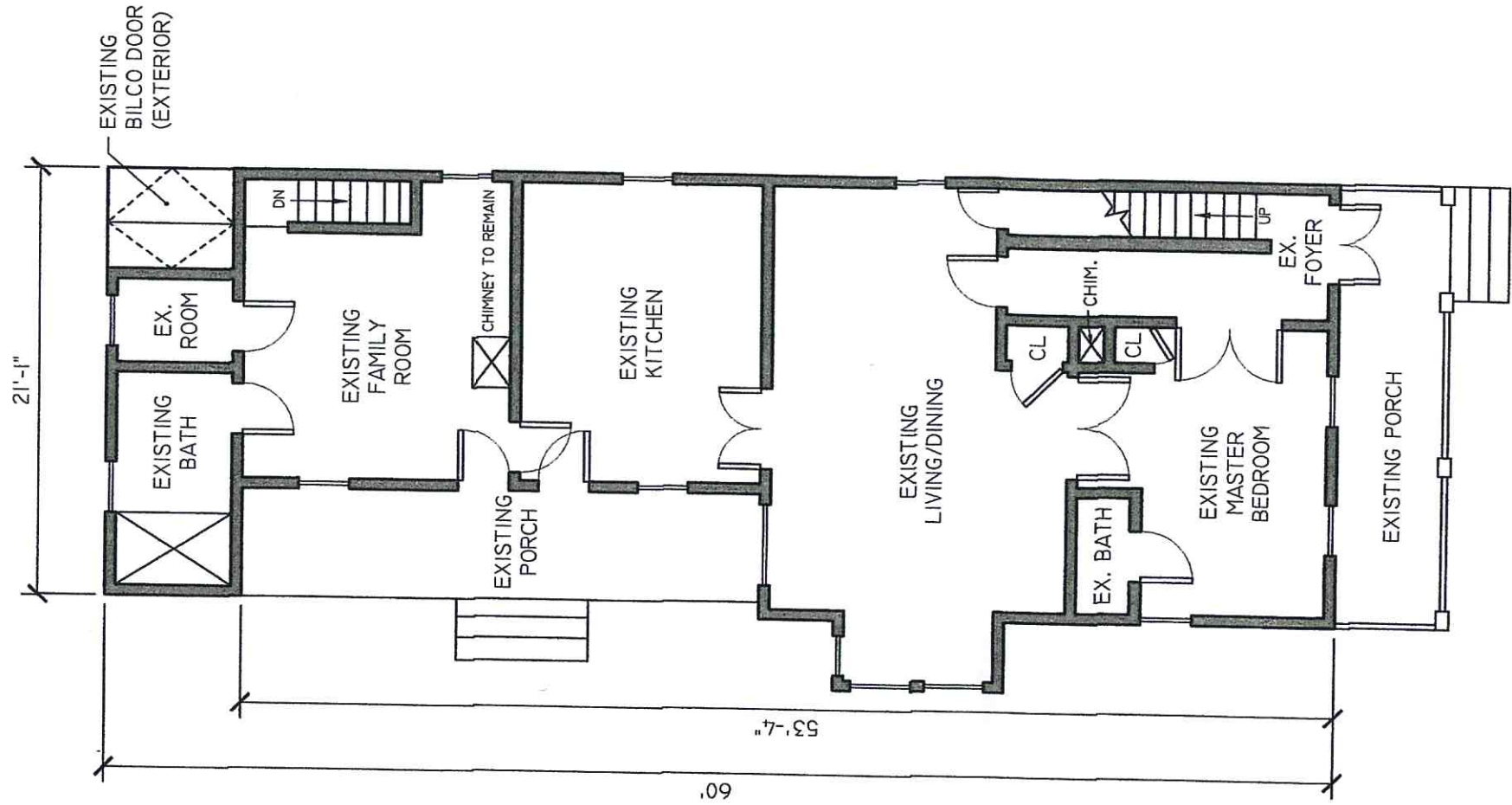
T. EASON LAND SURVEYOR
 27 POPLAR STREET, PORT JEFFERSON STATION, NEW YORK 11776
 Phone (631)474-2200 / Fax (631) 780-0491 email TEASONS@OPTONLINE.NET





EXISTING BASEMENT

SCALE: 1/8"=1'-0"



EXISTING FIRST FLOOR

SCALE: 1/8"=1'-0"

KEY

- EXISTING MASONRY FOUNDATION FOUND
- EXISTING CRAWL SPACE FOUND
- EXISTING WALLS
- WINDOWS
- DOORS



SCTM# 1001-5-2-16

#	ISSUE / REVISION	DATE
1	FOR PERMIT	10/05/22
2		
3		
4		

N.J. MAZZAFERRO, P.E.
 PROFESSIONAL ENGINEER
 P.O. BOX 57, GREENPORT NY, 11944
 516.457.5596 EMAIL: mezz_in@msn.com

RESIDENTIAL

148 BAY AVE
 GREENPORT, NY 11944

SHEET NO:

A-1

DRAWN BY:

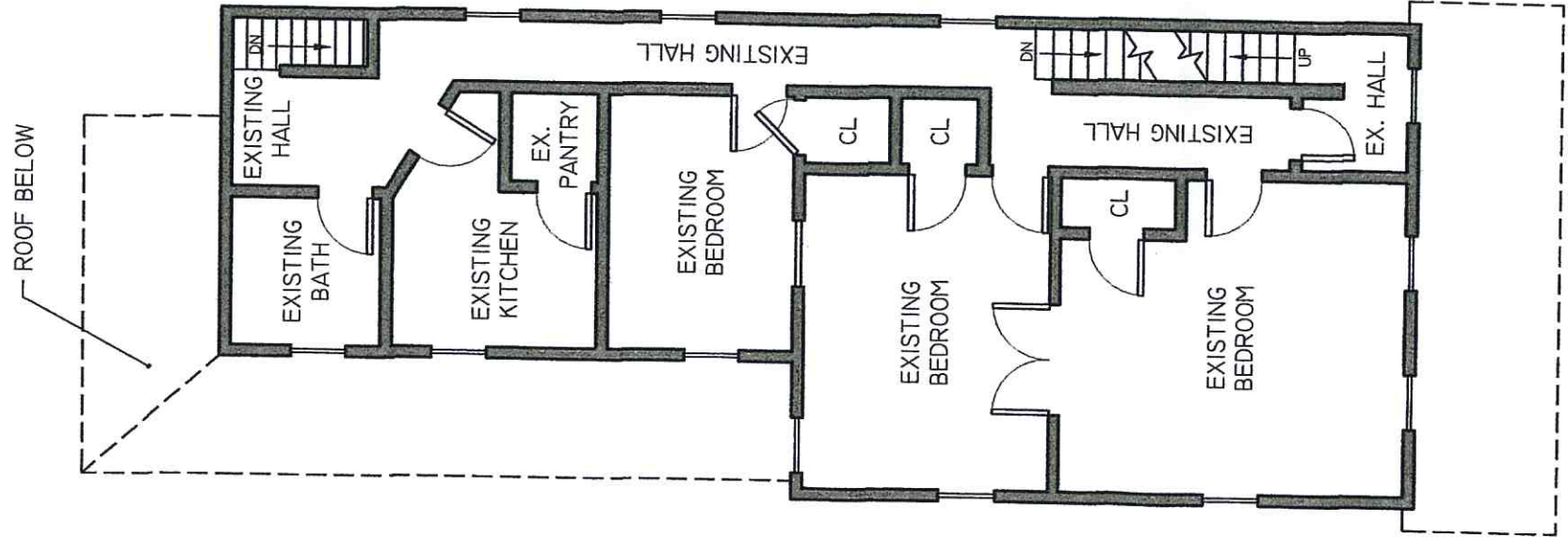
KS

DATE:

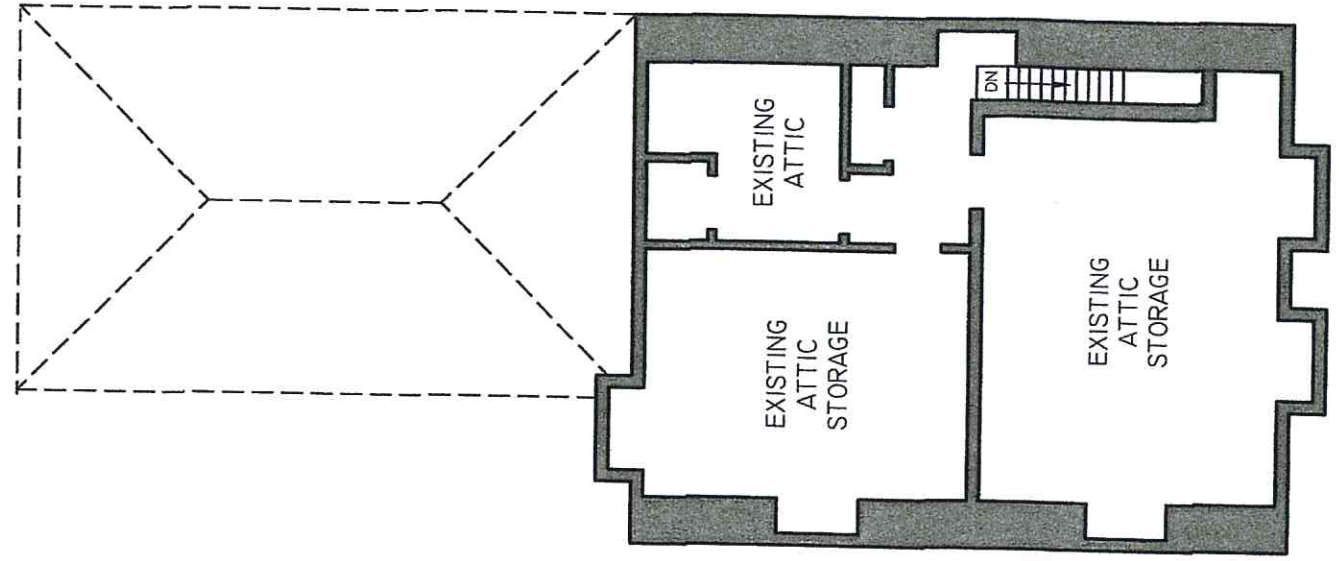
10/05/22

SCALE:

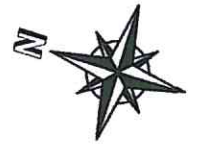
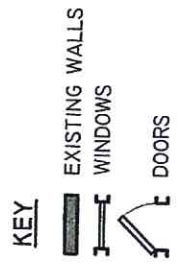
1/8"=1'-0"



EXISTING SECOND FLOOR
SCALE: 1/8"=1'-0"



EXISTING THIRD FLOOR
SCALE: 1/8"=1'-0"



SCTM# 1001-5-2-16

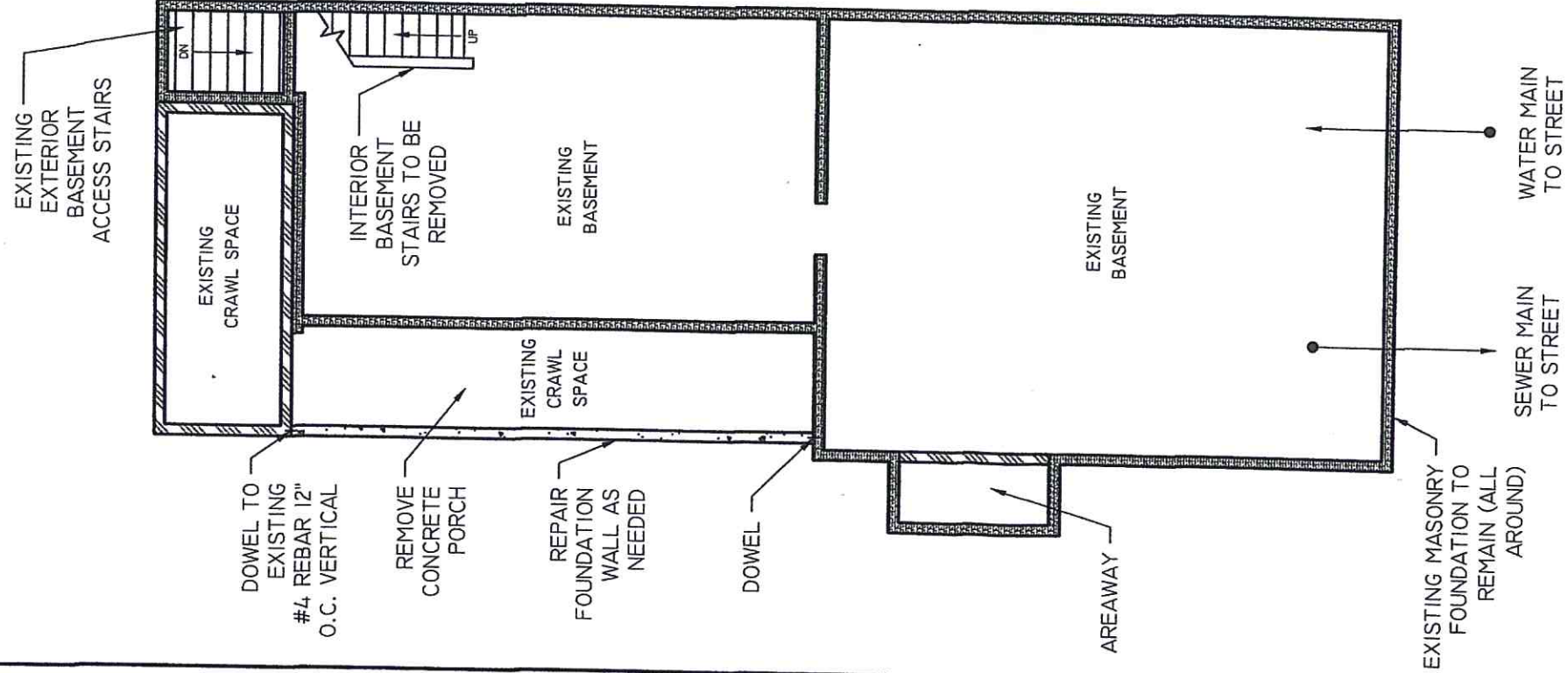
#	ISSUE / REVISION	DATE
1	FOR PERMIT	10/05/22
2		
3		
4		

N.J. MAZZAFERRO, P.E. PROFESSIONAL ENGINEER P.O. BOX 57, GREENPORT NY, 11944 516.457.5596 EMAIL: mez_jin@msn.com	DRAWN BY: KS DATE: 10/05/22 SCALE: 1/8"=1'-0"
RESIDENTIAL	SHEET NO:
148 BAY AVE GREENPORT, NY 11944	A-2



EXISTING CRAWL SPACE:

- EXPOSE FOUNDATION AND REPAIR AS NEEDED
- EXCAVATE ALL TO TOP OF FOOTING
- INSTALL 4" THICK REINFORCED CONCRETE SLAB



PROPOSED BASEMENT PLAN

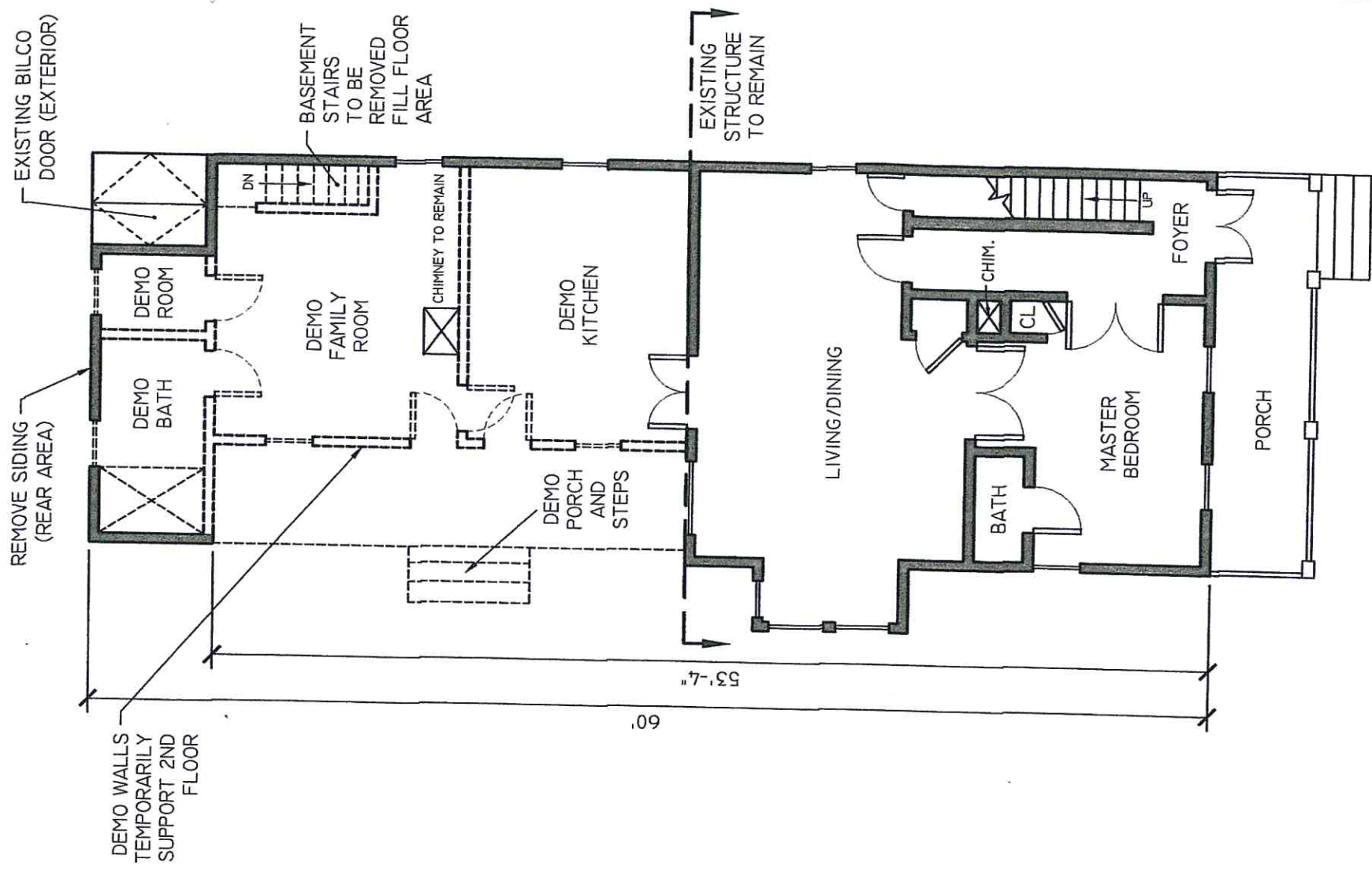
SCALE: 1/8"=1'-0"

KEY

- EXISTING MASONRY FOUNDATION FOUND
- EXISTING CRAWL SPACE FOUND
- NEW POURED FOUNDATION
- EXISTING WALLS
- DEMO WALLS
- WINDOWS
- DOORS

NOTES:

- ALL WINDOWS REMAIN AS EXISTING (EXCEPT PARTIAL WEST WALL)
- ALL EXTERIOR SIDING TO REMAIN AS EXISTING - MAIN HOUSE
- ALL ROOF TO REMAIN AS EXISTING
- NEW WEST WALL AND EXISTING REAR 1 STORY EXTENSION TO HAVE SIDING (SHINGLES) REMOVED AND REPLACED WITH WOOD SIDING TO MATCH MAIN HOUSE - PAINT TO MATCH

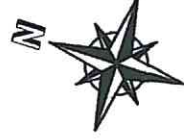


FIRST FLOOR DEMO PLAN

SCALE: 1/8"=1'-0"

SCTM# 1001-5-2-16

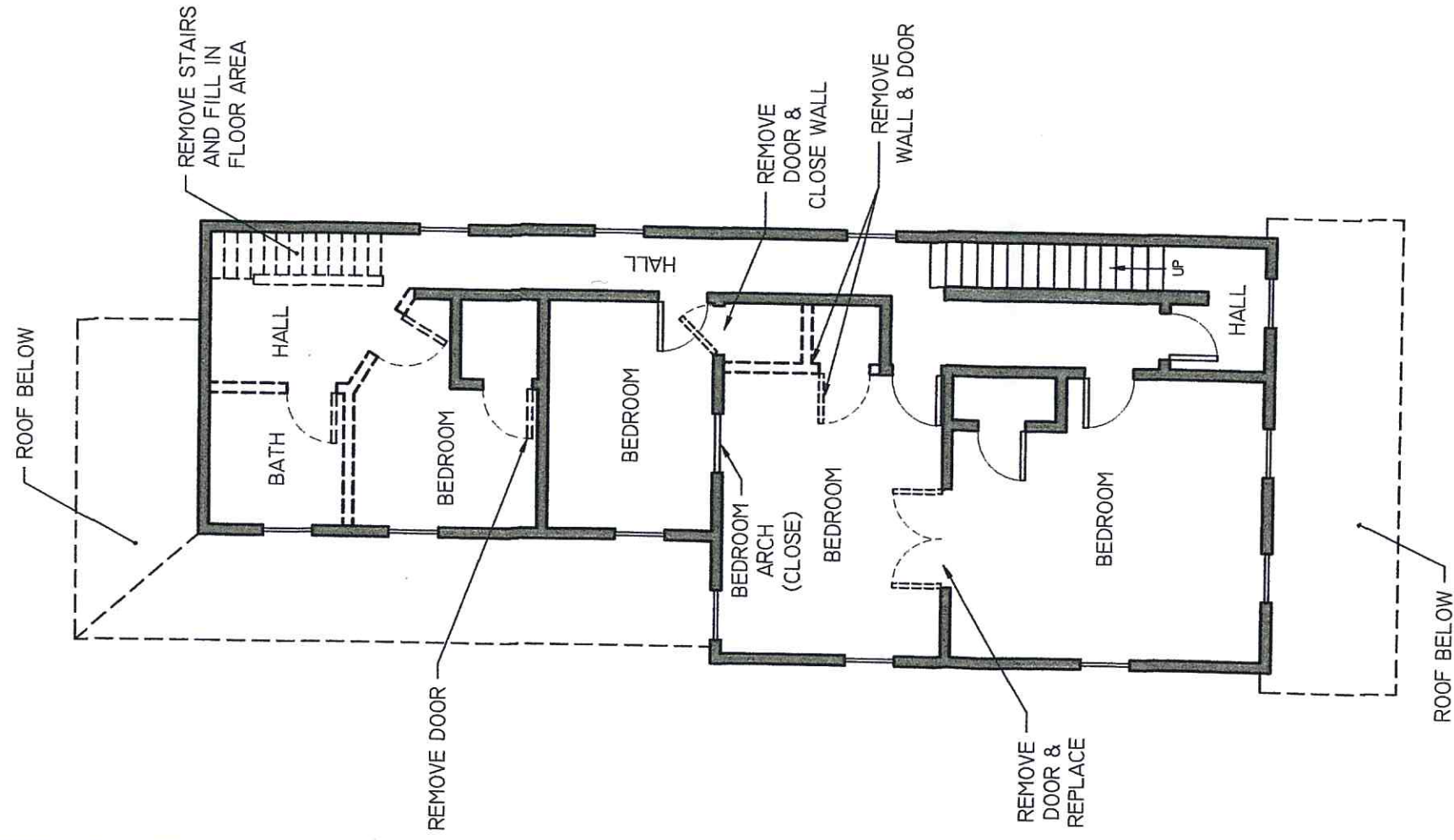
#	ISSUE / REVISION	DATE
1	FOR PERMIT	10/05/22
2		
3		
4		



DRAWN BY: KS
 DATE: 10/05/22
 SCALE: 1/8"=1'-0"
 SHEET NO: **A-3**
 N.J. MAZZAFERRO, P.E.
 PROFESSIONAL ENGINEER
 P.O. BOX 57, GREENPORT NY, 11944
 516.457.5596 EMAIL: maz_jr@msn.com
 RESIDENTIAL
 148 BAY AVE
 GREENPORT, NY 11944

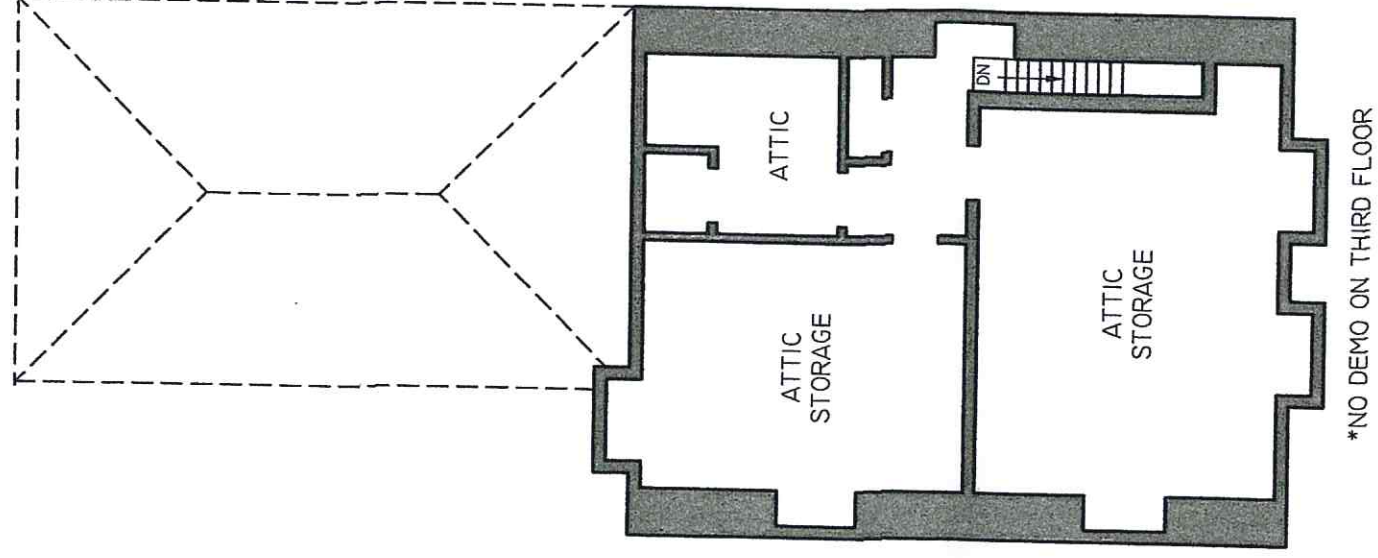
NOTES:

- ALL WINDOWS REMAIN AS EXISTING
- ALL EXTERIOR SIDING TO REMAIN AS EXISTING
- ALL ROOF TO REMAIN AS EXISTING



SECOND FLOOR DEMO PLAN

SCALE: 1/8"=1'-0"



*NO DEMO ON THIRD FLOOR

NO DEMO THIRD FLOOR

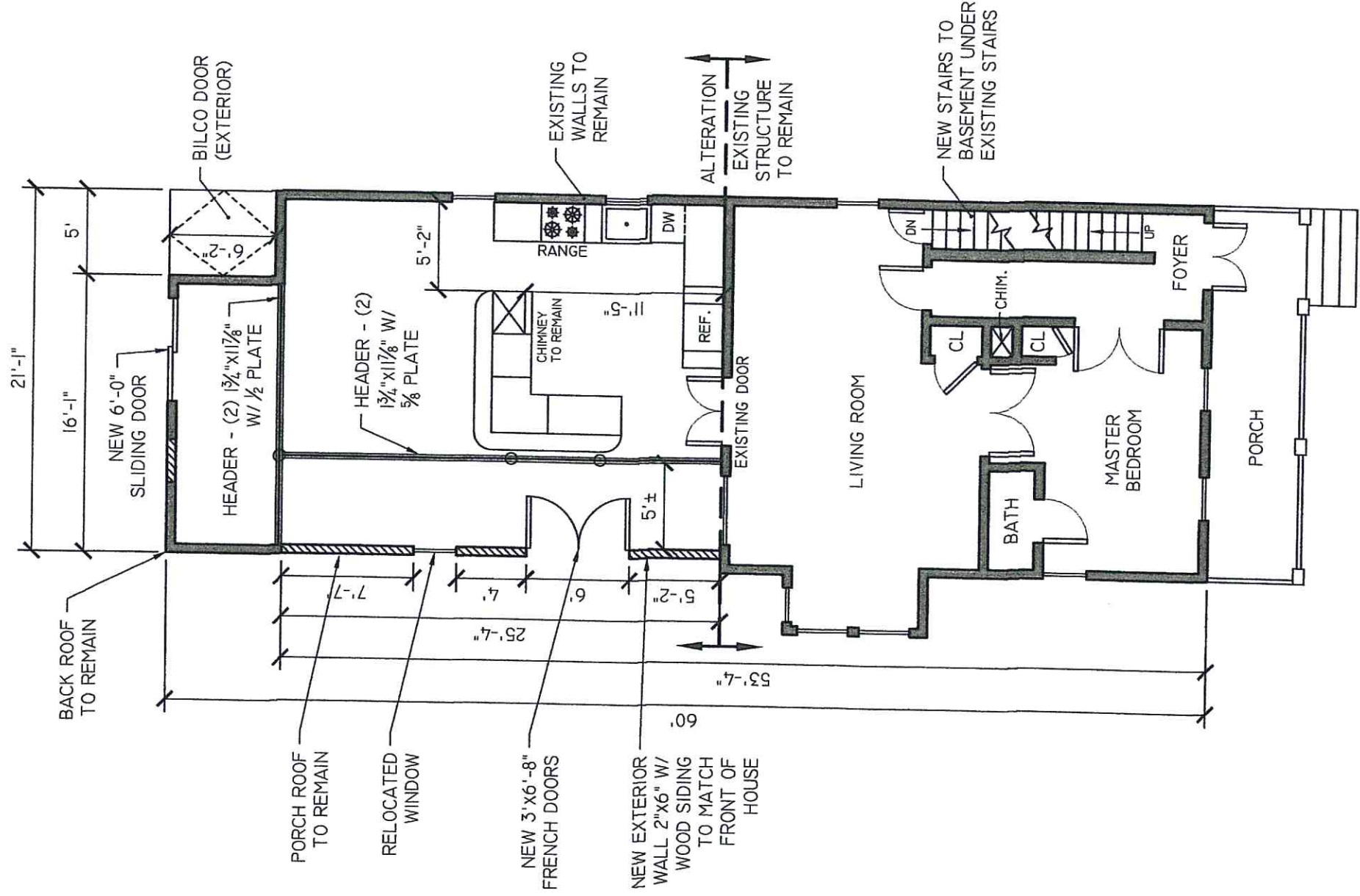
SCALE: 1/8"=1'-0"

SCTM# 1001-5-2-16

#	ISSUE / REVISION	DATE
1	FOR PERMIT	10/05/22
2		
3		
4		



DRAWN BY: KS DATE: 10/05/22 SCALE: 1/8"=1'-0"	N.J. MAZZAFERRO, P.E. PROFESSIONAL ENGINEER P.O. BOX 57, GREENPORT NY, 11944 516.457.5596 EMAIL: mez_jr@msn.com
RESIDENTIAL 148 BAY AVE GREENPORT, NY 11944	SHEET NO: A-4



PROPOSED FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

KEY

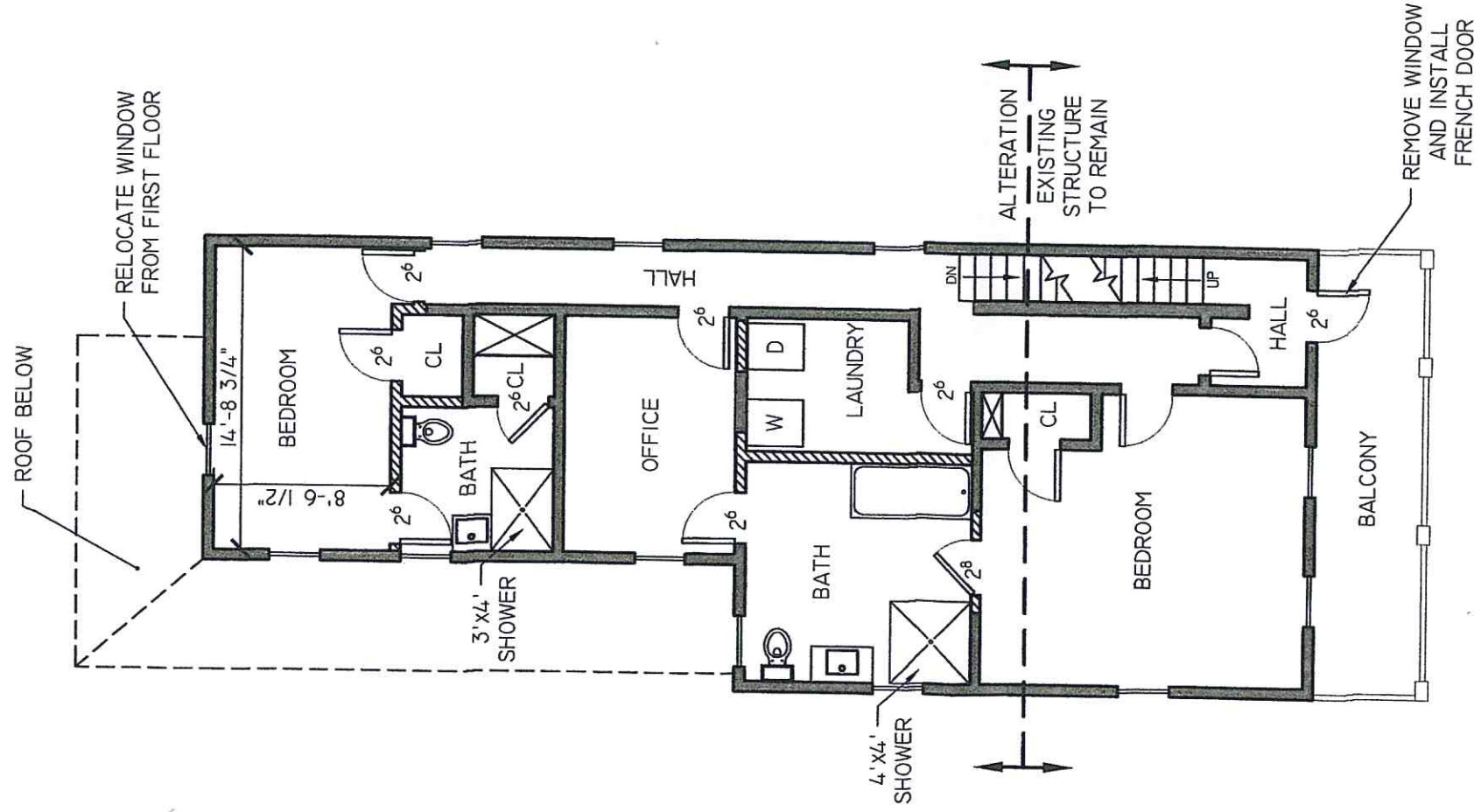
- NEW WALLS
- EXISTING WALLS
- WINDOWS
- DOORS



SCTM# 1001-5-2-16

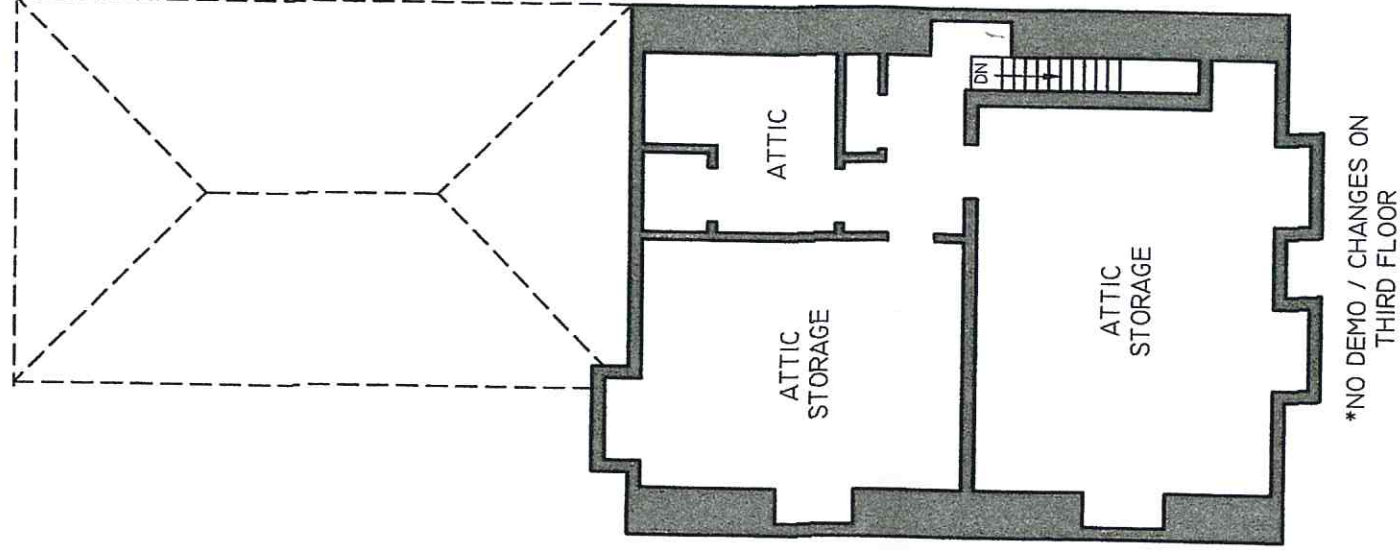
#	ISSUE / REVISION	DATE
1	FOR PERMIT	10/05/22
2		
3		
4		

DRAWN BY: KS DATE: 10/05/22 SCALE: 1/8"=1'-0"	SHEET NO: A-5
N.J. MAZZAFERRO, P.E. PROFESSIONAL ENGINEER P.O. BOX 57, GREENPORT NY, 11944 518.457.5586 EMAIL: maz_jin@msn.com	RESIDENTIAL 148 BAY AVE GREENPORT, NY 11944



PROPOSED SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



PROPOSED THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

KEY

EXISTING WALLS
NEW WALLS

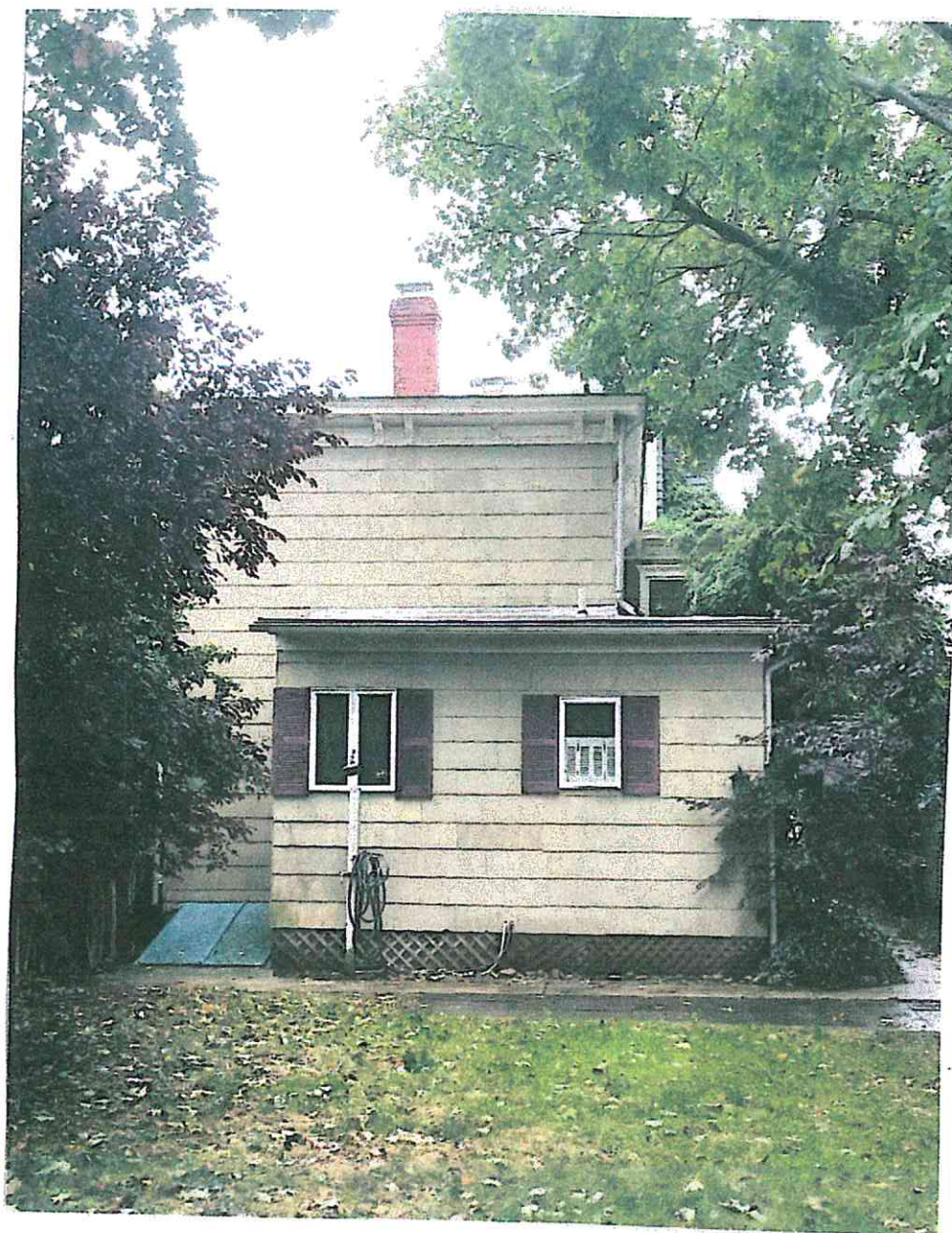
WINDOWS
DOORS



SCTM# 1001-5-2-16

#	ISSUE / REVISION	DATE
1	FOR PERMIT	10/05/22
2		
3		
4		

DRAWN BY: KS
 DATE: 10/05/22
 SCALE: 1/8"=1'-0"
 SHEET NO: A-6
 N.J. MAZZAFERRO, P.E.
 PROFESSIONAL ENGINEER
 P.O. BOX 57, GREENPORT NY, 11944
 516.457.5596 EMAIL: maz_jin@msn.com
 RESIDENTIAL
 148 BAY AVE
 GREENPORT, NY 11944



148 BAY AVE - REAR ELEVATION



148 BAY AVE - SIDE PORCH - SOUTH



148 BAY AVE - SIDE PORCH - NORTH

NOTES:

- 1- SIDE PORCH TO BE ENCLOSED - ROOF REMAINS - WINDOWS/DOORS PER PLAN
 - SIDING AND TRIM TO MATCH FRONT - PAINT TO MATCH
- 2- REAR WALL - WINDOWS TO BE ADDED / REPLACED PER PLAN.
 - SIDING/TRIM TO MATCH FRONT - PAINT TO MATCH

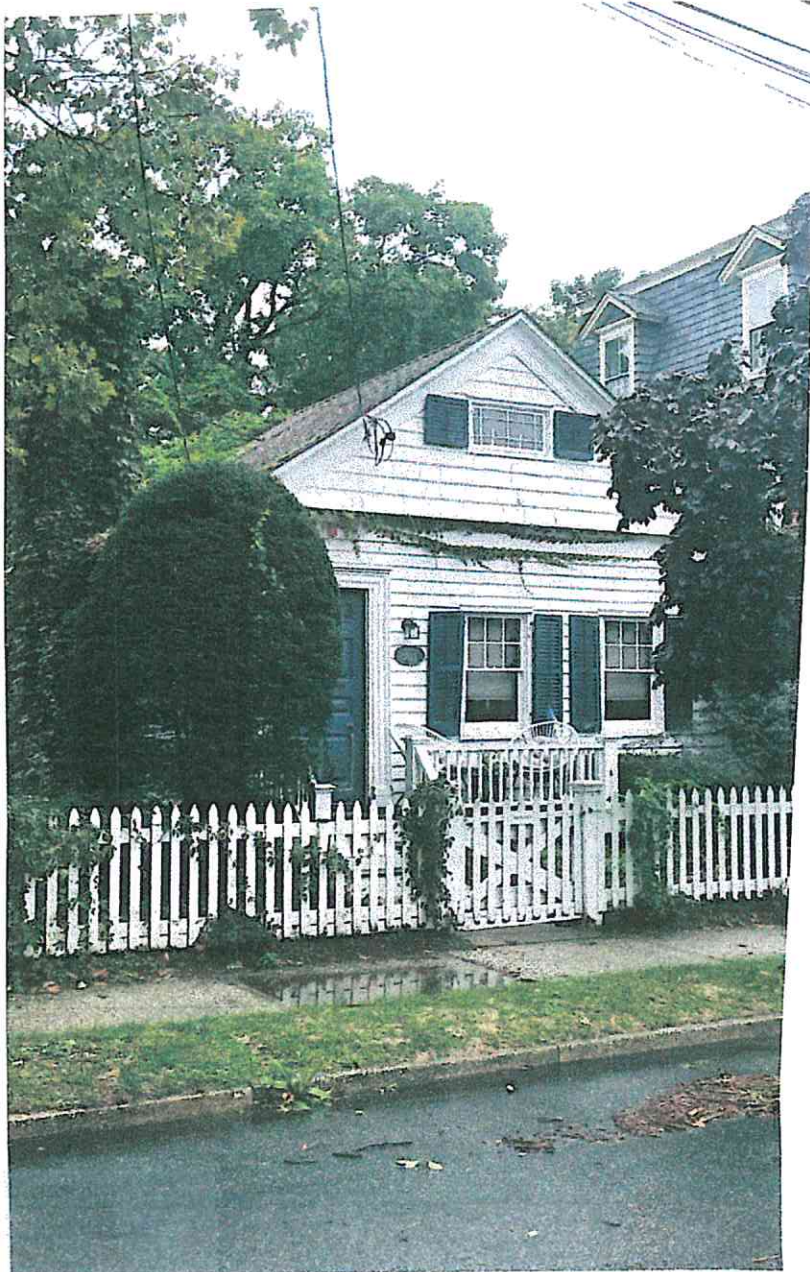


148 BAY AVE
 GREENPORT NY 11944

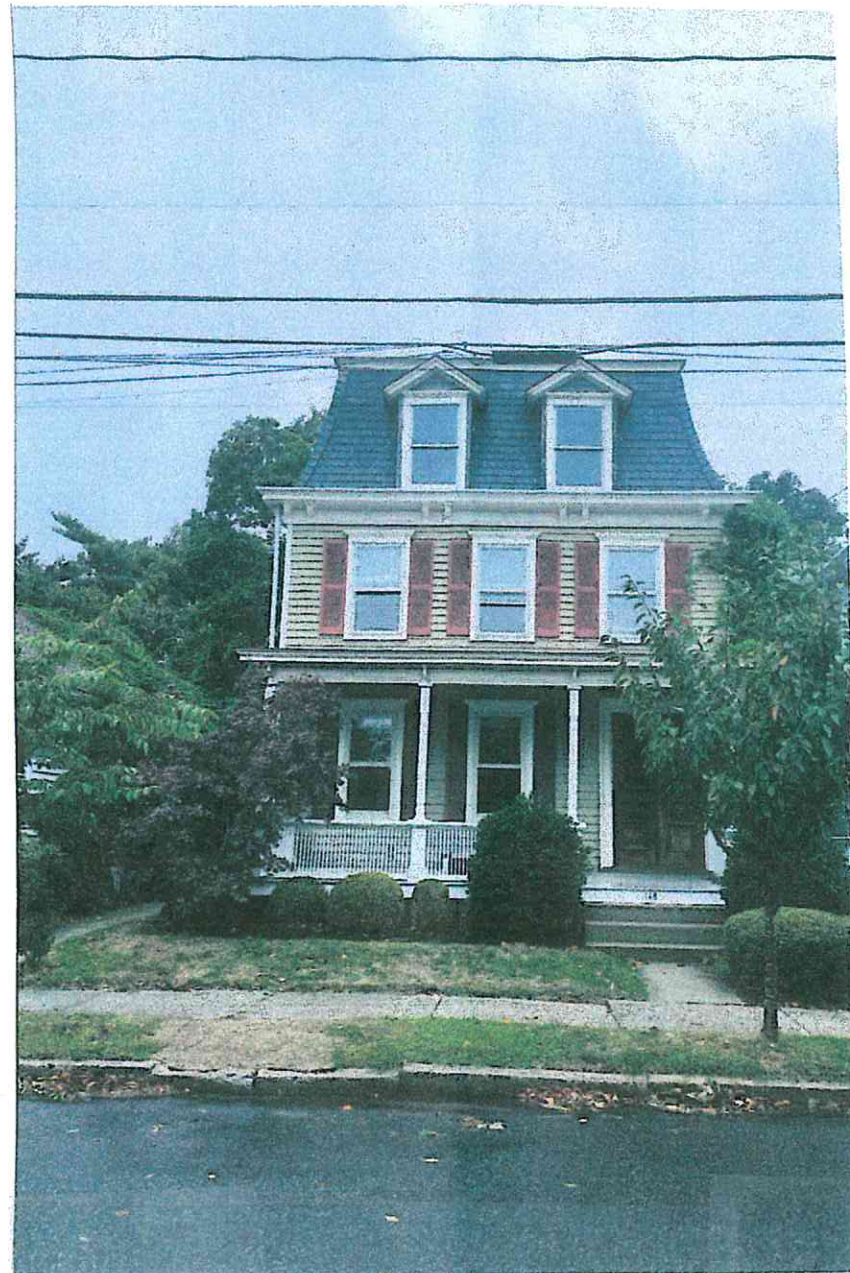
PHOTOS - PROPOSED WORK

Date 10/3/22 Sheet 1 of 1

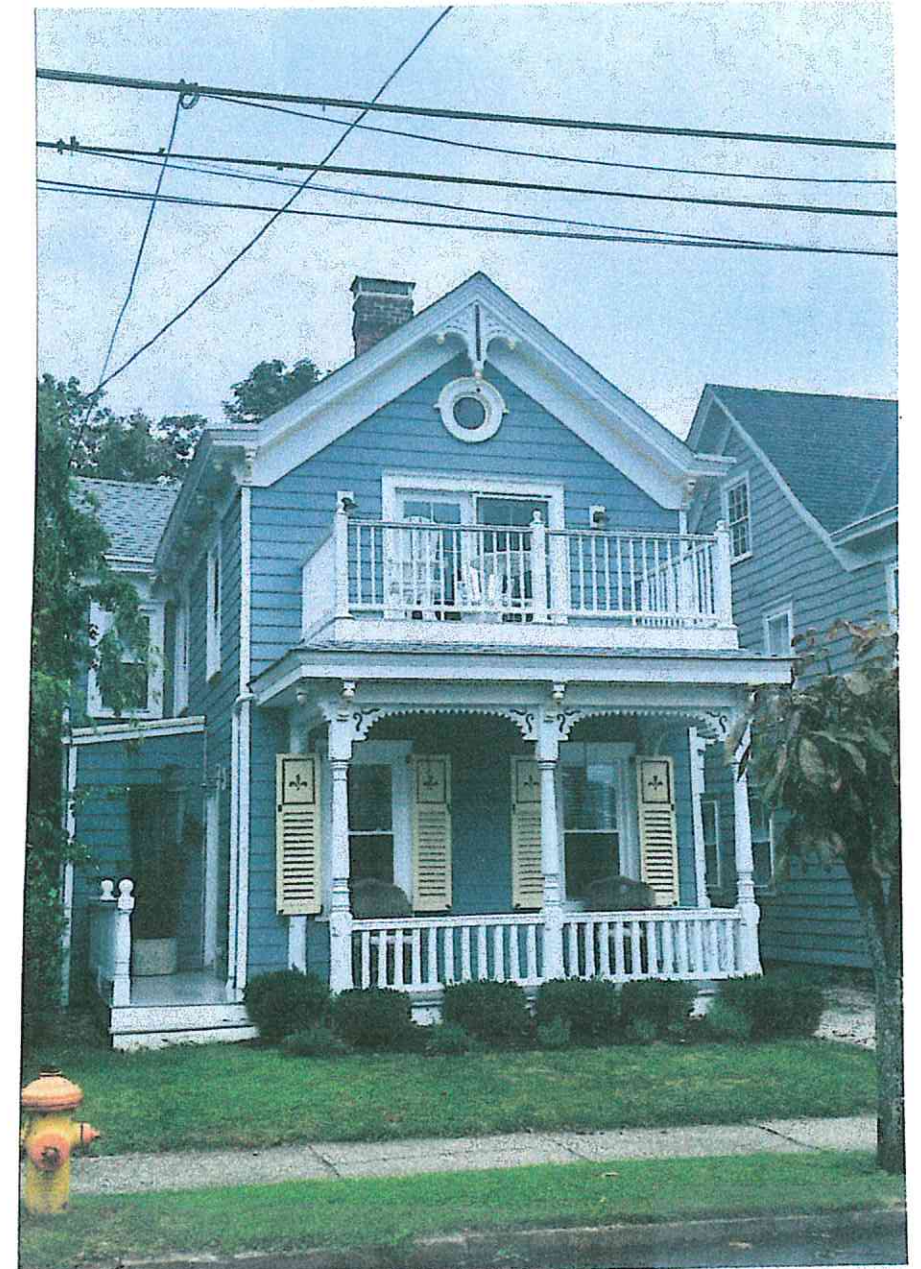
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 516-457-5596



HOUSE TO WEST - BAY AVE.



148 BAY AVE - FRONT



HOUSE TO EAST - BAY AVE.



148 BAY AVE
GREENPORT NY 11944

PHOTOS - HOUSE FRONTS

Date 10/3/2022 Sheet 1 of 1

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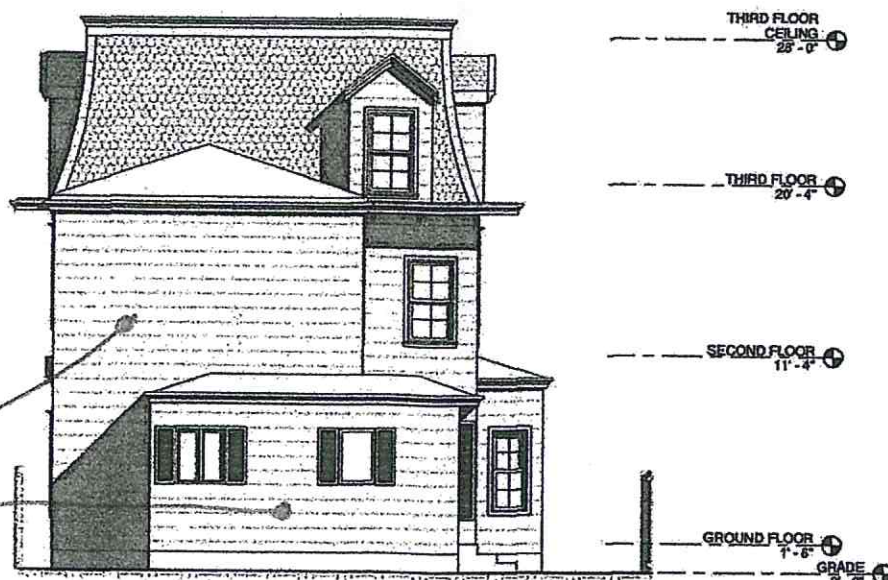
PO Box 57, Greenport, NY 11944
516-457-5596



② EXISTING WEST ELEVATION
1/4" = 1'-0"

DRAWING FROM
PUBLIC RECORD
GREENPORT ZONING BOARD
NOV. 1, 2021

WORK PLANNED FOR THIS AREA
SEE DESIGN PLANS.



① EXISTING SOUTH ELEVATION
1/4" = 1'-0"

NOTES

Designer:

Applicant of Record:

Project:

148 BAY AVENUE

Enter address here

Project No.:

IR-02

See/Signature

Date:

Scale:

AS NOTED

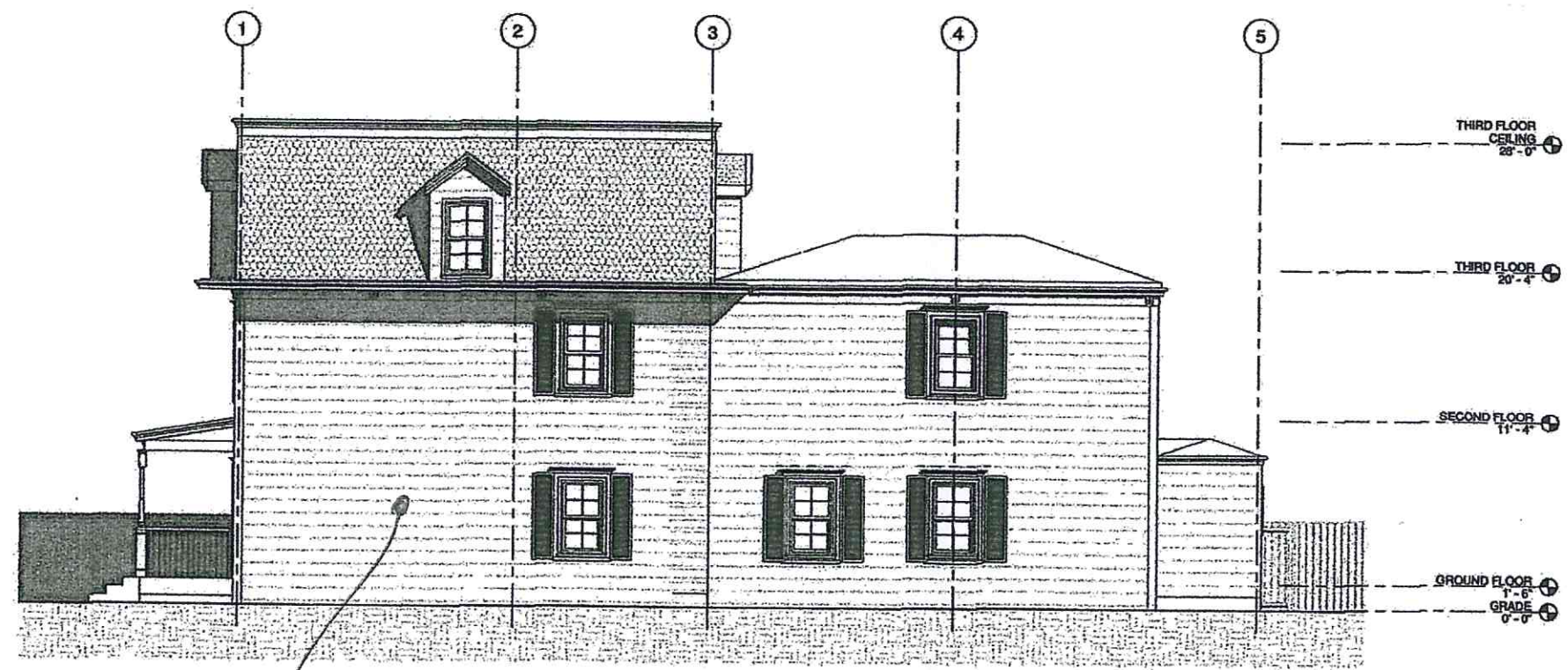
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EXISTING ELEVATIONS

Drawing No.:

182

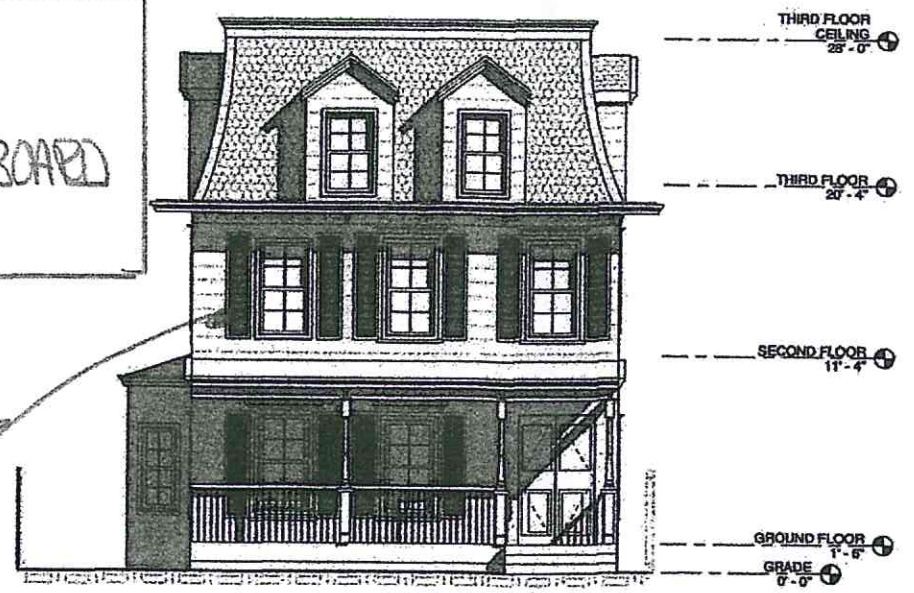
NOTES



① EXISTING EAST ELEVATION
1/4" = 1'-0"

NO WORK PLANNED ON THIS ELEVATION

DRAWING FROM
PUBLIC RECORD
GREENPORT ZONING BOARD
NOV 1, 2021



② EXISTING NORTH ELEVATION
1/4" = 1'-0"

NO WORK PLANNED ON THIS
ELEVATION

Project:
148 BAY AVENUE
Enter address here

Project No.:
IR-02

Scale/Signature:

Date: _____ Scale: AS SHOWN

Drawing Title:
EXISTING ELEVATIONS

Drawing No.:
2 of 2